



PARK DISTRICT of OAK PARK

Due to the Coronavirus outbreak, the State of Illinois enacted amendments to the Open Meeting Act that authorize public bodies to host public meetings virtually in the event of a declaration of a disaster. Park District Board President Lentz has determined that an in-person meeting of the Park District of Oak Park's Continued Regular Board Meeting scheduled for Thursday, March 4, 2021, is not practicable or prudent. Accordingly, the meeting will take place via Zoom, *not* on site at the Hedges Administrative Center, 218 Madison Street, at 7:30pm.

Park District of Oak Park Continued Regular Board Meeting from February 18, 2021

Zoom Meeting

<https://us02web.zoom.us/j/82143384199?pwd=RIExUjBQVTFsQ1NGR1pybFExTjc1dz09>

Thursday, March 4, 2021, 7:30pm

AGENDA

- I. **Call to Order/Roll Call**
- II. **Approval of Agenda**
- III. **Old Business**
 - A. **Recreation and Special Facilities Program Committee** – None
 - B. **Parks and Planning Committee** – None
 - C. **Administration and Finance Committee** – Commissioner Porreca
 1. Lease Agreement with Community Mental Health Board*
- IV. **New Business**
- V. **Closed Session**
- VI. **Adjournment**

* Indicates information attached.

** Indicates information to be provided before or at the meeting.

In partnership with the community, we enrich lives by providing meaningful experiences through programs, parks and facilities.



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Thursday, March 4, 2021, 7:30pm

AGENDA COMMENTS

- I. **Call to Order/Roll Call**
- II. **Approval of Agenda**
- III. **Old Business**
 - A. **Recreation and Facility Program Committee – None**
 - B. **Parks and Planning Committee – None**
 - C. **Administration and Finance Committee – Commissioner Porreca**
 1. **Oak Park Mental Health Board Lease***
(Roll Call Vote) (III.C.1)
Commissioner Porreca: I move that the Park Board approve the Lease between the Oak Park Mental Health Board of the Oak Park Township and the Park District of Oak Park for space within the Community Recreation Center.
- IV. **New Business**
- V. **Closed Session**
- VI. **Adjournment**

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** Indicates information to be provided before or at the meeting.

Memo

To: Kassie Porreca, Chair, Administration and Finance Committee
Board of Park Commissioners

From: Jan Arnold Executive Director

Date: February 19, 2021

Re: Lease - Oak Park Mental Health Board



Statement

During the 2015 Feasibility Study, the consultants communicated with Park District staff that students from the high school stated in their focus group's session that they would like to see mental health services offered as part of the Community Recreation Center. The students shared that being able to access mental health services with anonymity was important. The Park District staff held discussions with the Oak Park Mental Health Board and were informed part of the Oak Park Mental Health Board's long-term vision is to create a wellness center. Therefore, collaborating made sense and thus, a Memorandum of Understanding (MOU) was signed in 2019 for the construction of a Community Recreation Center.

Discussion

Working with the Community Mental Health Board (CMHB) staff and board, the attached lease agreement has been approved by the Community Mental Health Board of the Oak Park Township.

The highlights of the agreement:

- CMHB office space for 35 years in exchange for \$1,000,000 in capital funding for the CRC
- Payments will occur as follows:
 - \$600K by April 1 2021, \$200K by September 30, 2021 and \$200K by June 30, 2022
- Staff from CMHB and PDOP will collaborate on program opportunities
- Community will have access to mental health resources inside the CRC
- CMHB will use a multi-purpose room and or 218 Madison for its monthly board meetings

Both entities are excited about the partnership and what it means to destigmatizing mental health in our community.

Conclusion

The Administration and Finance Committee recommends the approval of the Lease between the Oak Park Mental Health Board of the Oak Park Township and the Park District of Oak Park for space within the Community Recreation Center.

Attachments: Lease Agreement

PARK DISTRICT OF OAK PARK
LEASE AGREEMENT
WITH COMMUNITY MENTAL HEALTH BOARD
OF OAK PARK TOWNSHIP

THIS LEASE AGREEMENT (this “*Lease*”), effective as of _____, 2021, (the “*Effective Date*”) is made by and between the Park District of Oak Park (the “*Park District*”), an Illinois park district under the Illinois Park District Code, 70 ILCS 1205, and the Community Mental Health Board of Oak Park Township (the “*CMH Board*”), a community mental health board under the Illinois Community Mental Health Act, 405 ILCS 20.

R E C I T A L S:

WHEREAS, the Park District is constructing a building to be known as the Park District Community Recreation Center (the “*CRC*”) at 229 Madison Street in the Village of Oak Park; and

WHEREAS, the Park District and the CMH Board entered into an amended Memorandum of Understanding (the “*MOU*”) in November 2019 which provided for up-front expenditures of capital by the CMH Board in connection with the CRC; and

WHEREAS, the CRC will include rentable space on the second floor that is suitable for occupancy by the CMH Board, including the Tenant Space and the Shared Rooms as described in this Lease (collectively the “*Premises*”); and

WHEREAS, the CMH Board wishes to enter into a lease with the Park District for use of the Premises for the Lease Term as defined in this Lease; and

WHEREAS, the Park District wishes to lease the Premises to the CMH Board under the terms and conditions of this Lease;

NOW, THEREFORE, in consideration of the promises contained in this Lease and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the Park District agrees to permit the CMH Board to occupy the Premises on the following terms and conditions.

Section 1. Locations and Descriptions of Tenant Space and Shared Rooms.

A. Tenant Space. The location and specifications of the Tenant Space are included in Exhibit A to this Lease and includes exclusive use of three offices and a small conference room totaling approximately 1,000 square feet of space. The specifications regarding acoustics and noise within the CRC, including the Tenant Space, are included in Exhibit A. If the Park District determines that a specification within or near the

Tenant Space must be changed prior to or during construction of the CRC, then the Park District must determine the appropriate change in consultation with the CMH Board.

B. Shared Rooms. The location and specifications of the Shared Rooms are included in Exhibit A and include meeting rooms within the CRC.

Section 2. Term.

This Lease is for a term of 35 years, beginning on the first day that the CMH Board is authorized by the Park District to take occupancy of the Tenant Space (the “*Start Date*”) and expiring on December 31 of the 35th year following the Start Date (the “*Expiration Date*”).

Section 3. Lease Compensation; Payments.

A. Compensation. The CMH Board will pay the Park District for the Lease in the total amount of \$1,000,000.00 (the “*Compensation*”) as provided in Subsection B of this Section. The Compensation is refundable to the CMH Board if (i) the Park District has not commenced construction of the CRC by April 1, 2022 or (ii) construction of the CRC has not been completed by July 1, 2023. (See Sections 13 and 18 of this Lease regarding refund of Compensation in the event of casualty or default.)

B. Rent Payments. The Compensation will be paid in three payments (each a “*Rent Payment*”) as follows:

Rent Payment 1: \$600,000.00 payable not later than April 1, 2021.

Rent Payment 2: \$200,000.00 payable not later than September 30, 2021.

Rent Payment 3: \$200,000.00 payable not later than June 30, 2022.

Section 4. Use of Tenants the Premises and Shared Space.

A. General Activities. The CMH Board may occupy the Tenant Space for the following purposes (the “*Approved Activities*”: (i) conducting meetings, consultations, and hearings, (ii) providing services, (iii) hosting programs and seminars, and (iv) other activities related to the purposes of the CMH Board as set forth in the Illinois Community Mental Health Act. Activities other than the Approved Activities require the prior written approval of the Park District Executive Director or her or his designee (the “*Executive Director*”) which approval will not be unreasonably withheld.

B. Shared Rooms. The CMH Board may use the Shared Rooms from time to time for meetings and similar gatherings. The CMH Board will have priority use of a meeting room on the third Tuesday of each month except August and December, from 6:00 p.m. to 9:30 p.m. In the event of a time conflict for a meeting room, the affected persons will meet to resolve the conflict. If no resolution is made, then the Executive Director will resolve the conflict. The CMH Board may not leave or store any equipment or other items in a meeting room without the prior written approval of the Executive

Director. In addition to the Shared Rooms, the CRC may have a pantry which the CMH Board may use to store and reheat lunches.

C. General Upkeep.

(i) The CMH Board must maintain all portions of the Premises in good and serviceable condition. The CMH Board also must assist in keeping the Shared Rooms and pantry in a good and usable condition. Prior to completion of the Tenant Space, the Park District and the CMH Board will confer regarding painting, flooring, and windows in the Premises.

(ii) The Park District, at its cost and expense, must keep and maintain the CRC in good condition and repair at all times, including without limitation (a) all electric, gas, water, sanitary sewer, and other utilities throughout the CRC, including the Tenant Space and the Shared Rooms, (b) all structural elements of the CRC, (c) interior repainting and repairs throughout the CRC as may be reasonably required from time to time, and (d) maintenance or repair to the Tenant Space and the Shared Rooms that arises out of or results from any act or omission of the Park District or its agent, contractor, concessionaire, officer, employee, customer, or invitee. The Park District will not be responsible for maintenance or repair that arises out of or results from any act or omission of the CMH Board or its agent, contractor, concessionaire, officer, employee, customer, or invitee, in which case the maintenance or repair must be performed by the CMH Board at its cost and expense. The CMH Board will not be responsible for any maintenance or repair that arises out of or results from any act or omission of the Park District or its agent, contractor, concessionaire, officer, employee, customer, or invitee, in which case the maintenance or repair must be performed by the Park District at its cost and expense.

(iii) All maintenance and repairs part to be performed under this Section must be performed in a good and workmanlike manner in accordance with all applicable laws.

D. Structural Repairs. If the Park District undertakes structural repairs or upgrades to elements of the CRC, such windows, window treatments, floors, or similar items, then the Park District will include the Tenant Space in the repairs or upgrades. The Park District will consult with the CMH Board regarding options related to upgrades within the Tenant Space. The cost of upgrades within the Tenant Space different from the Park District's planned upgrades will be borne by the CMH Board. The CMH Board may undertake upgrades within the Tenant Space, subject to the Park District's prior written approval of the scope and nature of the upgrades and the proposed contractor.

E. Trash Removal; General Maintenance. The Park District will include the Tenants Space and Share Rooms in the CRC's basic trash removal service. The CMH Board is responsible for proper removal and disposal of large and unusual items such as, but not limited to, furnishings, paint cans, electronic devices, and similar items and

debris that trash collection services will not accept. The CMH Board will be responsible for general maintenance and cleaning within the Tenant Space.

Section 5. Changes to Premises; Work.

The CMH Board may not alter the Tenant Space or the Shared Rooms by painting, construction, remodeling, removal of fixtures, structural alterations, additions, or other similar work (individually and collectively “*Work*”) without the prior written approval of the Executive Director. If Work is approved, then the CMH Board must undertake the Work promptly and diligently, in a good and workmanlike manner and in accordance with the Executive Director’s approval. All contractors must be approved by the Executive Director, which approval will not be unreasonably withheld. The CMH Board will be responsible for all costs and expenses related to the Work.

Section 6. Vacating; Holdover.

A. Vacating the Premises. On or before either the Expiration Date or early termination of this Lease, the CMH Board must vacate and surrender the Tenant Space to the Park District, leaving it in broom clean and good condition including without limitation (i) removing all of the CMH Board’s personal property, fixtures, and equipment and, if requested by the Park District prior to the Expiration Date, any Work completed by the CMH Board in the Premises, (ii) repairing any damage caused by the removal, and (iii) surrendering all keys to the CRC to the Park District. If the CMH Board fails to comply with the removal and restoration obligations, then the Park District may complete the removal and restoration on the CMH Board’s behalf and the CMH Board must reimburse the Park District for the costs incurred by the Park District. Any personal property, fixtures, or equipment of the CMH Board left within the CRC after the Expiration Date or termination date of this Lease will be deemed abandoned by the CMH Board and, at the Park District’s option, will become the property of the Park District.

B. Holdover. The CMH Board acknowledges and agrees that under no circumstances may it hold over or otherwise continue to occupy the Tenant Space or Shared Rooms after the Expiration Date without the prior express written consent of the Executive Director. If the CMH Board remains in possession of the Tenant Space or Shared Rooms without the Executive Director’s consent, or remains in possession of any part of them Premises after the Expiration Date, then that occupancy will be, at the determination of the Park District, a tenancy from month-to-month, subject to all provisions of this Lease and subject to a monthly rent in the amount of \$3,000 per month.

Section 7. Acceptance of Premises; Maintenance and Repair; Liens.

As of the Start Date, the CMH Board will be deemed to have accepted the Premises as is, provided, however, that the Park District warrants and agrees that the Premises will be suited for the CMH Board’s business. The Park District’s warranty as to the suitability of the Premises for CMH Board business purposes is a material term of the

Lease. The Park District has not, and will not, make any additional representation, warranty, or agreement regarding the condition of the Premises or the CRC generally.

Section 8. Indemnification of Park District Regarding Use of Premises.

The CMH Board must, and will, protect, defend, and hold harmless the Park District from and against any and every claim, liability, judgment, or cost (each a “*Claim*”), including without limitation reasonable attorneys’ fees and costs, arising out of or in connection with the use of the Premises by the CMH Board and each and all guests and other users. Further, if any lien is filed against the Premises, then the Park District may, in its discretion, cause that lien to be removed and the CMH Board must reimburse the Park District for all costs incurred by the Park District in connection with that removal, including without limitation reasonable attorneys’ fees.

Section 9. Utilities.

The Park District will provide routine utilities to the Premises such as HVAC, water, electricity, and natural gas. The CMH Board must pay for all other services. If the CMH Board fails to make any payment in a timely way to a services provider, then the Park District may, but is not obligated to, make that payment on the CMH Board’s behalf, and the CMH Board must reimburse the Park District on demand for the amount so paid.

Section 10. Waiver of Claims Regarding Personal Property.

The CMH Board agrees that all personal property placed in the Premises or elsewhere in the CRC will be and remain at the CMH Board’s risk, and neither the Park District nor any of its employees or agents will be liable for any damage to or loss of personal property, regardless of cause except for the negligence or willful misconduct of the Park District or its employees or agents.

Section 11. CMH Board Insurance.

The CMH Board must have and keep the following insurance coverage: Commercial general liability insurance with limits of \$1,000,000 per occurrence for bodily injury (including death) and for property damage, and with \$1,000,000 general aggregate, plus an excess or umbrella policy with limits of \$1,000,000 per occurrence and \$1,000,000 in the aggregate. The Park District must be named and endorsed as an additional insured on each insurance policy.

The insurance required by this Section must be made by companies duly licensed or admitted to transact business in the State of Illinois, and the companies must have a minimum General Policyholders Rating of at least B+, V, as set forth in the most current issue of Best's Insurance Guide.

Section 12. Indemnification.

The CMH Board and the Park District each, as the Indemnitor, agrees to indemnify and hold the other party (the “*Indemnitee*”) harmless from and against any cost, damage, claim, liability or expense (including attorneys’ fees) incurred by or claimed against the other party, directly or indirectly, as a result of or in any way arising from (a) a failure of the Indemnitor to perform any of the Indemnitor’s obligation under this Lease, (b) any act or omission of the Indemnitor, (c) the use and occupancy of the Premises (by the CMH Board as Indemnitor) by the CMH Board’s employees, agents, contractors invitees, licenses, customers, clients, or guests, (d) the use and occupancy of the CRC (by the Park District as Indemnitor) by the Park District’s employees, agents, contractors invitees, licenses, customers, clients, or guests, or (e) any accident, injury, or damage whatsoever caused to any person, or the property of any person, occurring in or about the Premises unless caused by Indemnitee’s negligence or willful misconduct. The Indemnitor’s liability to the Indemnitee under this Lease extends to the acts and omissions of the Indemnitor and any employee, agent, contractor, invitee, customer, client, family member, or guest of Indemnitor; and any cost, damage, claim, liability, or expense incurred by the Indemnitee due to the Indemnitor’s liability must be reimbursed to the Indemnitee. The indemnification pursuant to this Section will survive termination or expiration of this Lease.

Section 13. Casualty.

If the Premises becomes untenable by no conduct, fault, or negligence of the CMH Board or any CMH Board member, employee, agent, or contractor (a “*Casualty*”) and the Premises is not restored for suitable use by the CMH Board within 30 days after the Casualty is discovered, then the CMH Board may declare this Lease terminated. In the event this Lease is declared terminated by the CMH Board, the Compensation will be refunded to the CMH Board on a pro rata basis for the balance of the remaining 35 year Term.

Section 14. Door Locks and Access by Park District.

The CMH Board may not place any additional locks on any doors of the Premises. Nor may the CMH Board permit any duplicate keys to be made for the Premises without prior written approval of the Executive Director. The Park District, with two hours prior oral notice to the CMH Board, may enter the Tenant Space at reasonable hours for the limited purposes of examining the general condition of the Tenant Space or attending to a mechanical or similar matter. In the case of an emergency as reasonably determined by the Park District, the Park District may enter the Tenant Space immediately and without notice to the CMH Board.

Section 15. Compliance with Laws.

The CMH Board must comply with all laws, statutes, ordinances, and requirements of the Village of Oak Park, the County of Cook, the state, and federal authorities.

Section 16. Assignment and Subletting Prohibited.

The CMH Board may not assign this Lease or sublet the Premises at any time or for any reason without prior written approval of the Executive Director. The assignee or tenant may not be commercial, residential, or any other entity than a municipal governmental entity or a not-for-profit organization.

Section 17. Default by CMH Board.

The CMH Board will be in default of the terms of this Lease if the CMH Board: (a) fails to make a Rent Payment or to pay a fee or other amount or charge that the CMH Board is obligated to pay under this Lease and that failure continues for five days after the Park District delivers written notice of the failure to the CMH Board, (b) fails to timely vacate the Premises on or before the Expiration Date or earlier termination of this Lease, or (c) fails to perform any obligation of the CMH Board under this Lease and that failure continues for 10 days after the Park District delivers written notice of the failure to the CMH Board or such additional time that is reasonably necessary to cure the default. If the CMH Board is in default, then the Park District may take any or all of the following actions:

- (a) Exercise any and all legal or equitable rights and remedies the Park District has to enforce the terms of this Lease and to remove the CMH Board from the Premises, including without limitation reentry or taking possession of the Premises.
- (b) Hold the CMH Board responsible for all liabilities, causes of action, damages, losses, costs, or expenses (including attorneys' fees) arising from or connected to the Event of Default.
- (c) Terminate this Lease.

All rights and remedies of the Park District are cumulative, and no right or remedy excludes any other right or remedy allowed by law or in equity. No waiver by the Park District of a default by the CMH Board can or will be deemed a waiver of any terms and conditions of this Lease or of any subsequent default. Further, no delay or omission of the Park District to exercise any right or power arising from an Event of Default will impair that right or power or be construed to be a waiver of any default.

Section 18. Default by Park District.

The Park District will be in default of the terms of this Lease if the Park District fails to abide by any standard in this Lease and the failure continues for 10 days after the CMH Board delivers written notice of the failure to the Park District or such additional time that is reasonably necessary to cure the default. If the Park District commits an Event of Default, then the CMH Board may take any or all of the following actions:

- (a) Exercise any and all legal or equitable rights and remedies the CMH Board has to enforce the terms of this Lease.
- (b) Cure the Event of Default on behalf of the Park District and obtain reimbursement from the Park District for reasonable costs expended by the CMH Board to cure the default.
- (c) Terminate this Lease.
- (d) Receive a refund of the Compensation on a pro rata basis for the balance of the remaining 35 year Term.

All rights and remedies of the CMH Board are cumulative and no right or remedy excludes any other right or remedy allowed by law or in equity. No waiver by the CMH Board of a default by the Park District can or will be deemed a waiver of any terms and conditions of this Lease or of any subsequent default. Further, no delay or omission of the CMH Board to exercise any right or power arising from an Event of Default will impair that right or power or be construed to be a waiver of any default.

Section 19. General Terms.

A. Notices. A notice or other communication regarding this Lease will be deemed to have been given sufficiently if it is in writing and: (i) delivered personally, or (ii) sent by certified mail, return receipt requested, postage prepaid, or (iii) delivered through a reputable overnight delivery service. A notice personally delivered will be deemed received when it is delivered. A notice sent by certified mail will be deemed received on the fourth business day after it was sent. A notice delivered through an overnight delivery service will be deemed received on the next day.

Notices must be addressed as follows:

If to the CMH Board:

CMH Board of Oak Park Township
1011 Lake Street
Oak Park, Illinois 60301
Attention: Executive Director

If to the Park District:

Park District of Oak Park
218 Madison Street
Oak Park, Illinois 60302
Attention: Executive Director

The addresses may be changed by giving notice of the change in the manner provided for giving notices.

B. Governing Law. This Lease is governed by the laws of the State of Illinois.

C. Equal Preparation. The CMH Board and the Park District agree that they participated equally in the preparation of this Lease and thus there can be no presumption that one party prepared the document.

D. Entire Agreement. This Lease supersedes all agreements, oral or written, between the parties regarding the terms of this Lease. No other agreement, statement, or promise not contained in this Lease is valid or binding regarding the Lease or the Premises.

E. Successors and Assigns. This Lease is binding on and inures to the benefit of the heirs, assigns, successors, executors, and administrators of the Park District and the CMH Board.

F. Unavoidable Delays. The CMH Board understands that the timing for the Start Date depends on completion of construction of the CRC. That timing depends on several circumstances, including among others the start of construction of the CRC and the completion of construction of that project. The time of completion of the CRC may be affected by (i) strikes, lockouts, or labor disputes, (ii) the inability to obtain labor or materials, or reasonable substitutes for the project, or (iii) acts of God, governmental restrictions, and regulations or controls or other, similar circumstances (each a "*Unavoidable Delay*"). An Unavoidable Delay will not be considered an Event of Default except as specifically stated in this Lease.

G. Patriot Act. The Park District and the CMH Board each represents and warrants that it is not acting, directly or indirectly, for or on behalf of any person, group, entity, or nation named by the United States Treasury Department as a Specially Designated National and Blocked Person, or for or on behalf of any person, group, entity, or nation designated in Presidential Executive Order 13224 as a person who commits, threatens to commit, or supports terrorism; and that it is not engaged in this transaction directly or indirectly on behalf of, or facilitating this transaction directly or indirectly on behalf of, any such person, group, entity, or nation. Each party hereby agrees to defend, indemnify, and hold harmless the other party from and against any and all claims, damages, losses, risks, liabilities, and expenses (including reasonable attorneys' fees and costs) arising from or related to any breach of the foregoing representation and warranty.

H. Exhibit A. Exhibit A attached to this Lease is hereby incorporated into this Lease as a substantive provision of this Lease.

IN WITNESS WHEREOF, the Park District and the CMH Board each has caused this this Lease to be executed by its authorized representative.

**Oak Park Township
Community Mental Health Board**

By: _____

Printed name: _____

Title: _____

Park District of Oak Park

By: _____

Sandy Lentz, Board President

EXHIBIT A

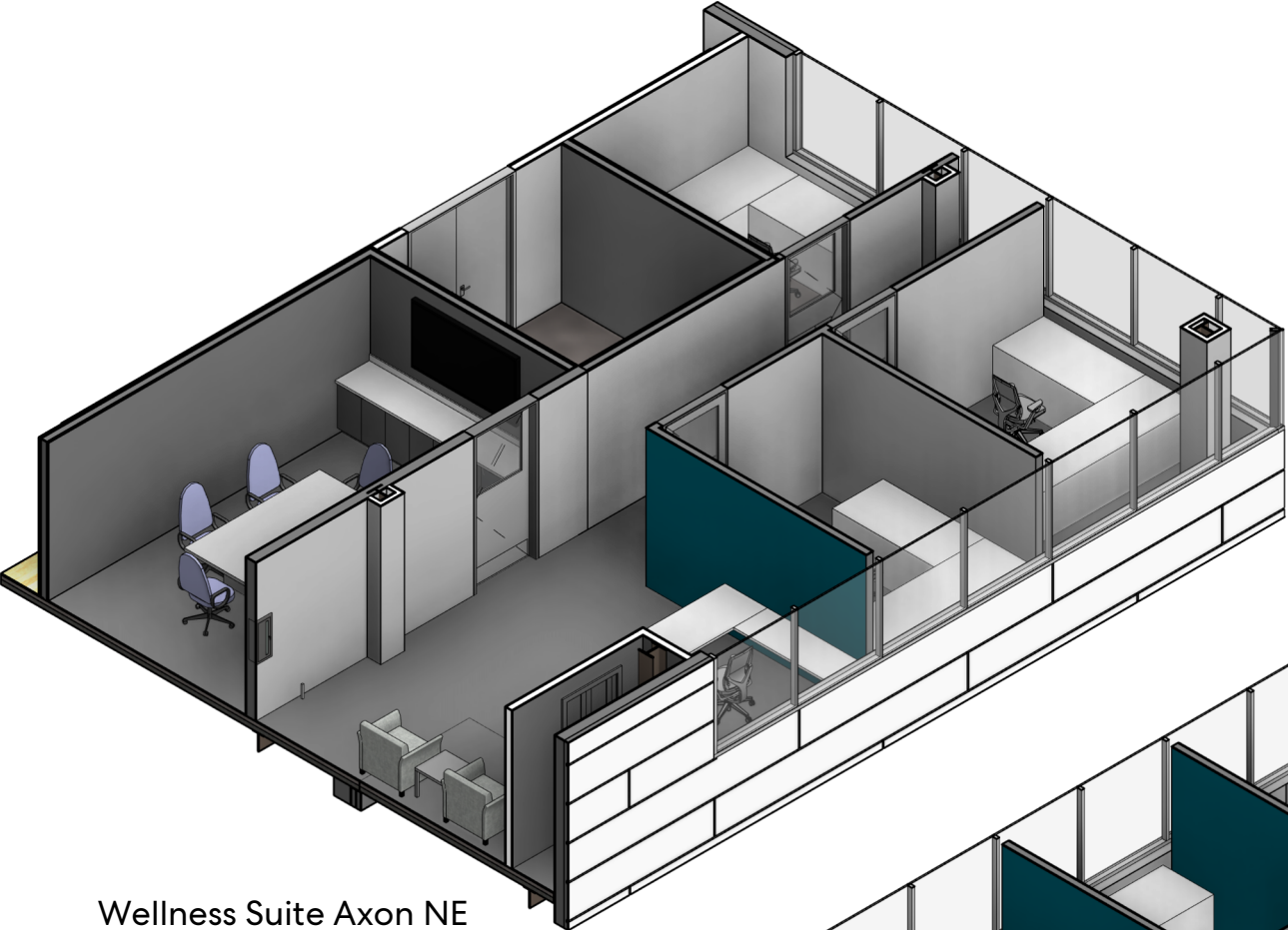
to

**PARK DISTRICT OF OAK PARK
LEASE AGREEMENT
WITH COMMUNITY MENTAL HEALTH BOARD
OF OAK PARK TOWNSHIP**

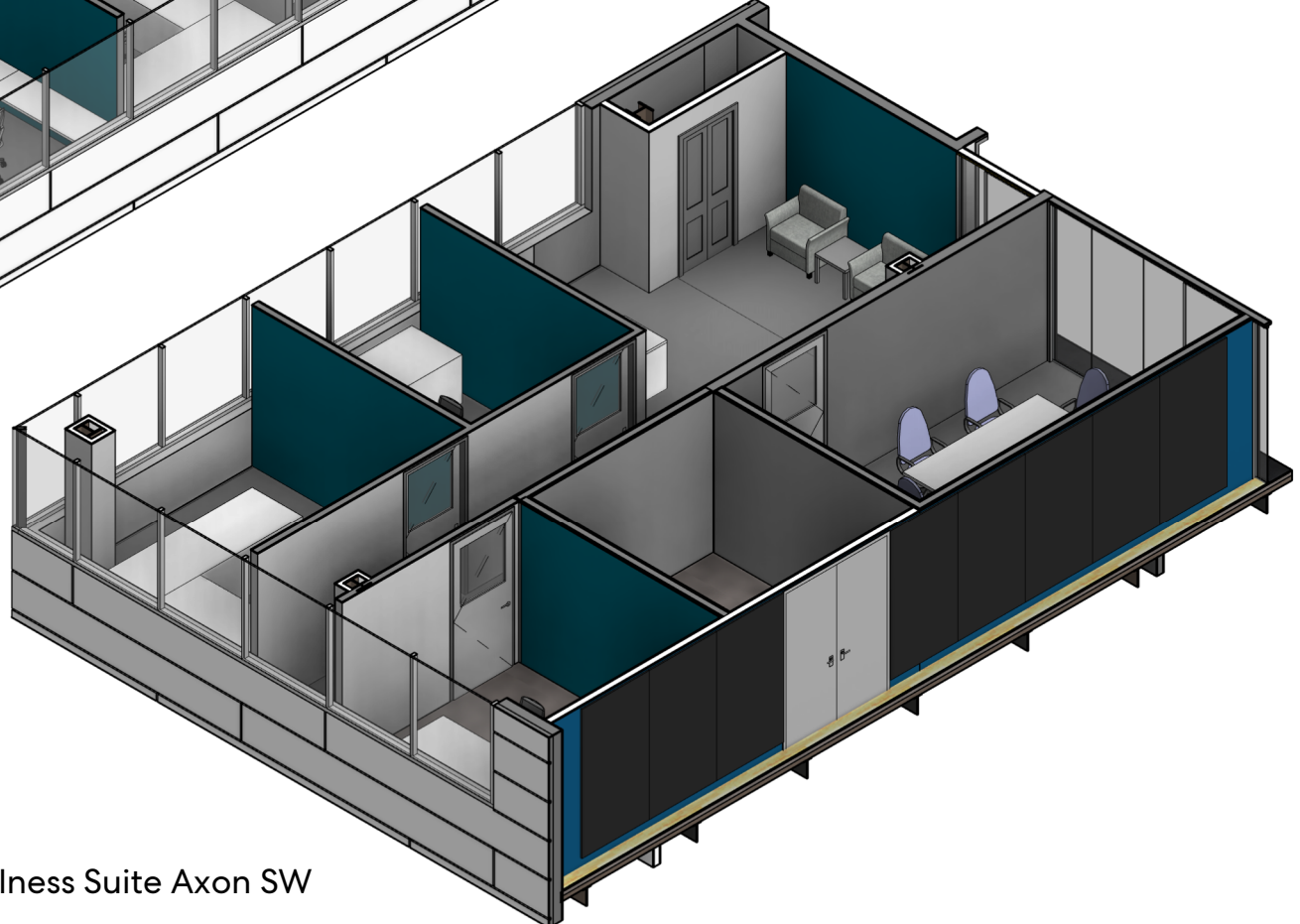
A. General Provisions. This Exhibit A to the Park District of Oak Park Lease Agreement with Community Mental Health Board of Oak Park Township (the “*Lease*”) includes diagrams and specification for the CRC. Any diagram or specification can, and may, be revised by the Park District at any time prior to or during construction of the CRC project.

B. Noise and Acoustics. The Park District and Tenant agree to the acoustical materials and elements of the proposed construction of the Tenant are appropriate. In the event of a change to a specification that affects acoustics in or near the Tenant Space, the Park District will consult with the CMH Board. The Park District and the Tenant agree that, during the hours 9:00 a.m. to 3:30 p.m. Monday through Friday, the noise level within the Tenant Space will be kept at a level not higher than 70 dBA. The parties understand and agree that it may not be possible to maintain that standard at all times, but will diligently undertake to do so, in consultation with each other.

[see following pages for diagrams and specifications]

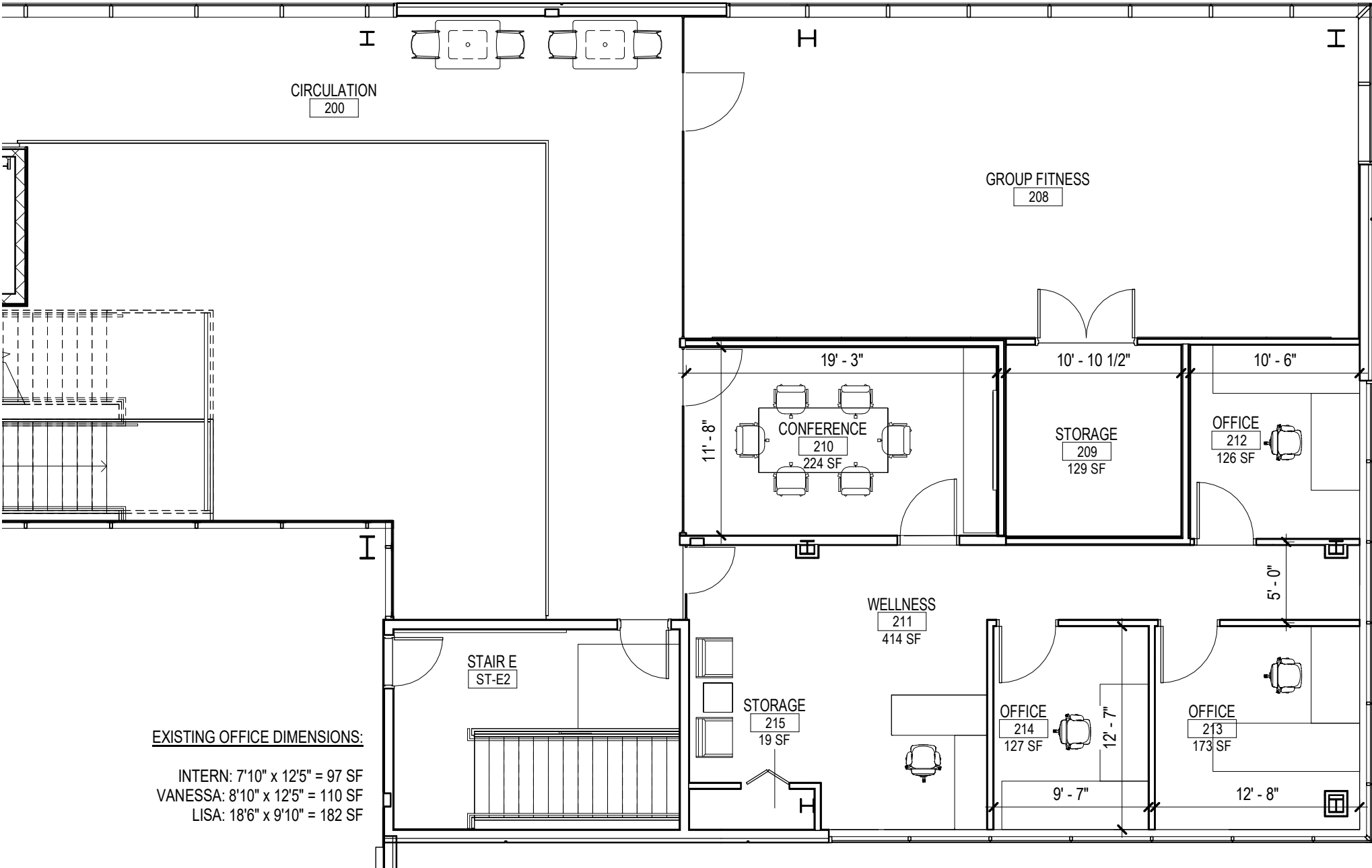


Wellness Suite Axon NE



Wellness Suite Axon SW

WELLNESS SUITE



EXISTING OFFICE DIMENSIONS:

- INTERN: 7'10" x 12'5" = 97 SF
- VANESSA: 8'10" x 12'5" = 110 SF
- LISA: 18'6" x 9'10" = 182 SF

1 LEVEL 02 - ENLARGED WELLNESS SUITE PLAN

1/8" = 1'-0"

WELLNESS SUITE

3	90% CONSTRUCTION DOCUMENTS	12/18/20
2	100% DESIGN DEVELOPMENT	09/11/20
1	100% SCHEMATIC DESIGN	07/10/20
ISSUE	DATE	DATE

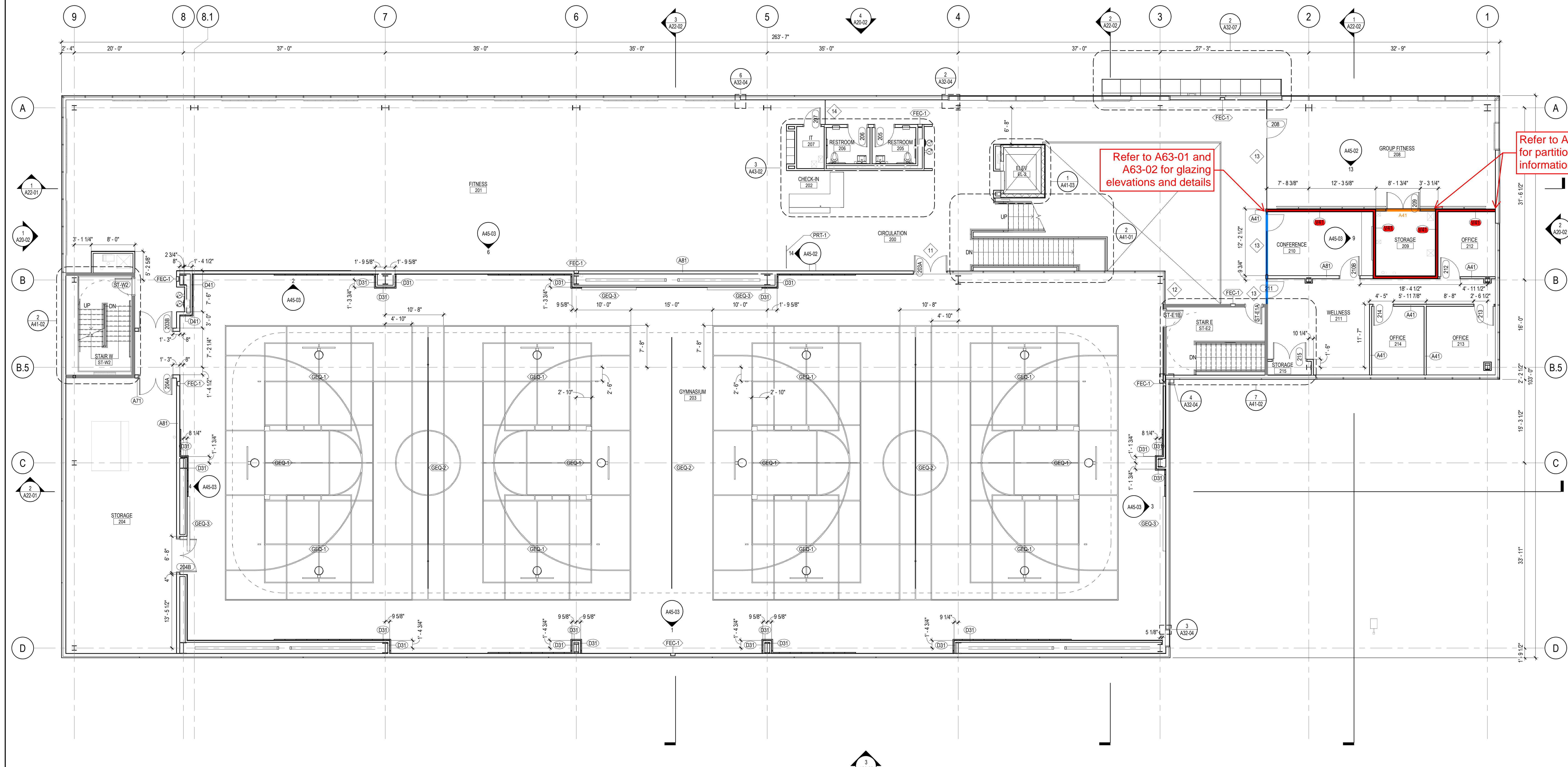
Job Number 022527.000

TITLE

**FLOOR PLAN - LEVEL
02**

SHEET NUMBER

A11-02



1 FLOOR PLAN - LEVEL 02
1/8" = 1'-0"

◁◁◁	Indicates Sheet Keynote on Plan
1 XXX	

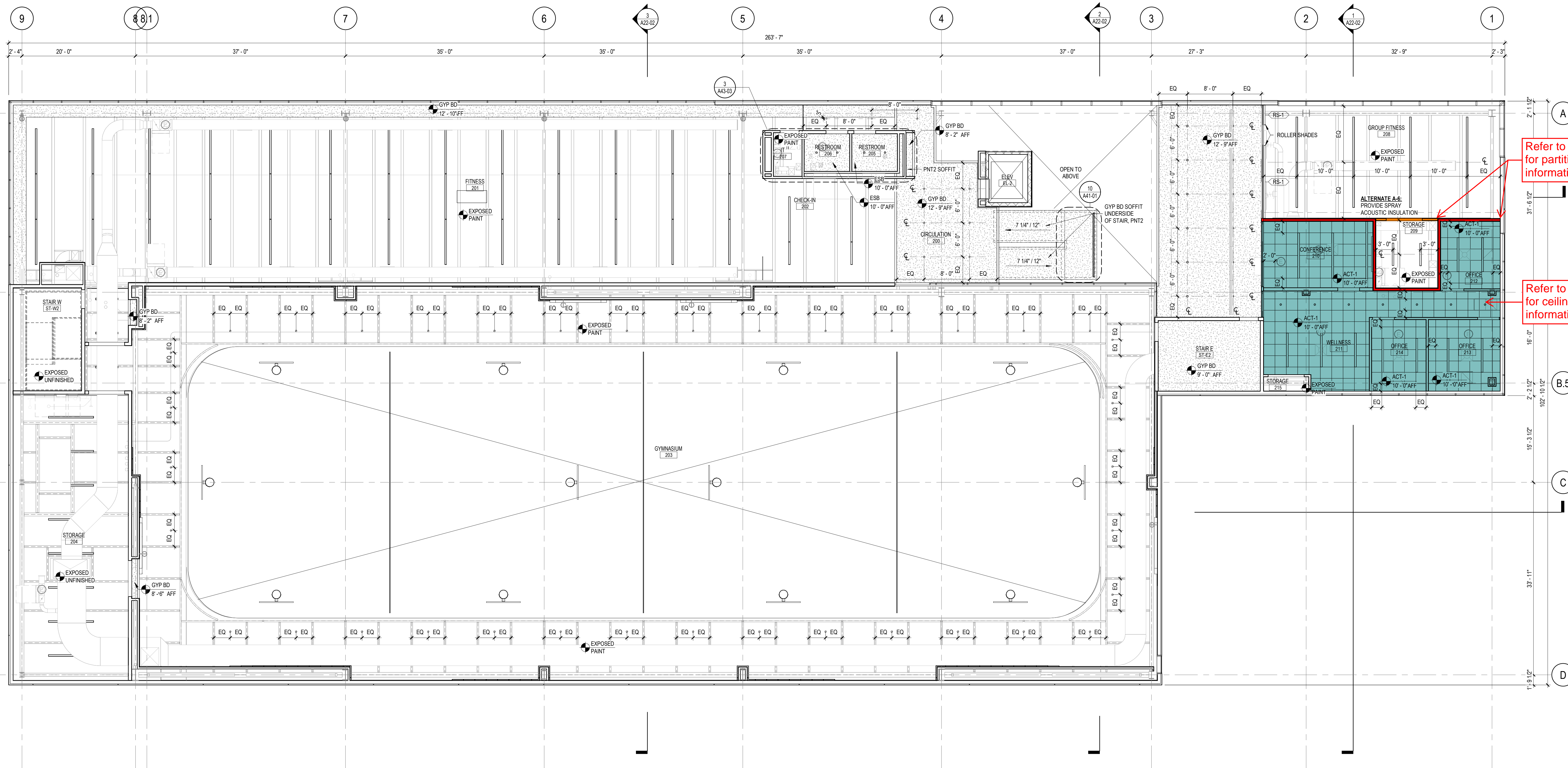
FLOOR PLAN LEGEND

- EXTERIOR ELEVATION TAG
- BUILDING SECTION TAG
- INTERIOR GLAZING REF: A63-01 SERIES FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE CHARTS ON A61-01 FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- DOOR TAG REF: A62-01 SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-00 SERIES FOR CHARTS
- EQUIPMENT TAG REF: A64-01 SERIES FOR EQUIPMENT SCHEDULE.
- FLOOR DRAIN

FLOOR PLAN GENERAL NOTES

1. PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. REFER TO G01 SERIES "CODE COMPLIANCE PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE CHARTS ON A61-01 FOR LOCATION OF SOUND ATTENUATION BLANKETS.
2. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
3. REFER TO SHEET A16-01 FOR GAME LINE DIAGRAMS.
4. REFER TO SHEET A43-00 FOR TOILET GROUPS AND ACCESSORIES.
5. REFER TO A63-01 FOR INTERIOR GLAZING ELEVATIONS.
6. REFER TO A64-01 FOR EQUIPMENT SCHEDULE.

2	90% CONSTRUCTION DOCUMENTS	12/18/20
1	100% DESIGN DEVELOPMENT	09/11/20
ISSUE	DATE	DATE
Job Number	022527.000	TITLE



Refer to A61-01
for partition
information

Refer to A64-01
for ceiling
information

1 REFLECTED CEILING PLAN - LEVEL 02
1/8" = 1'-0"

RCP NOTES BY NUMBER

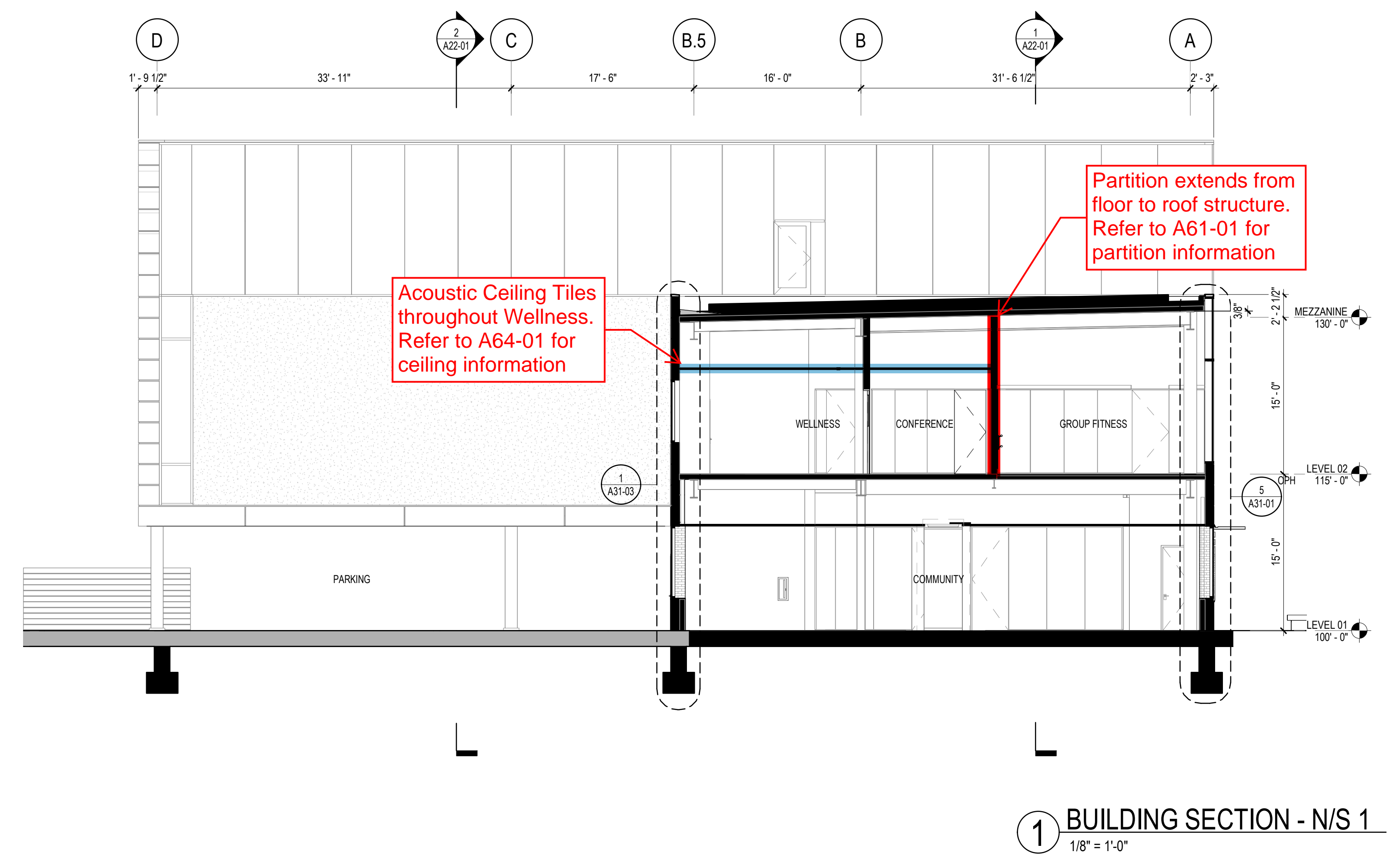
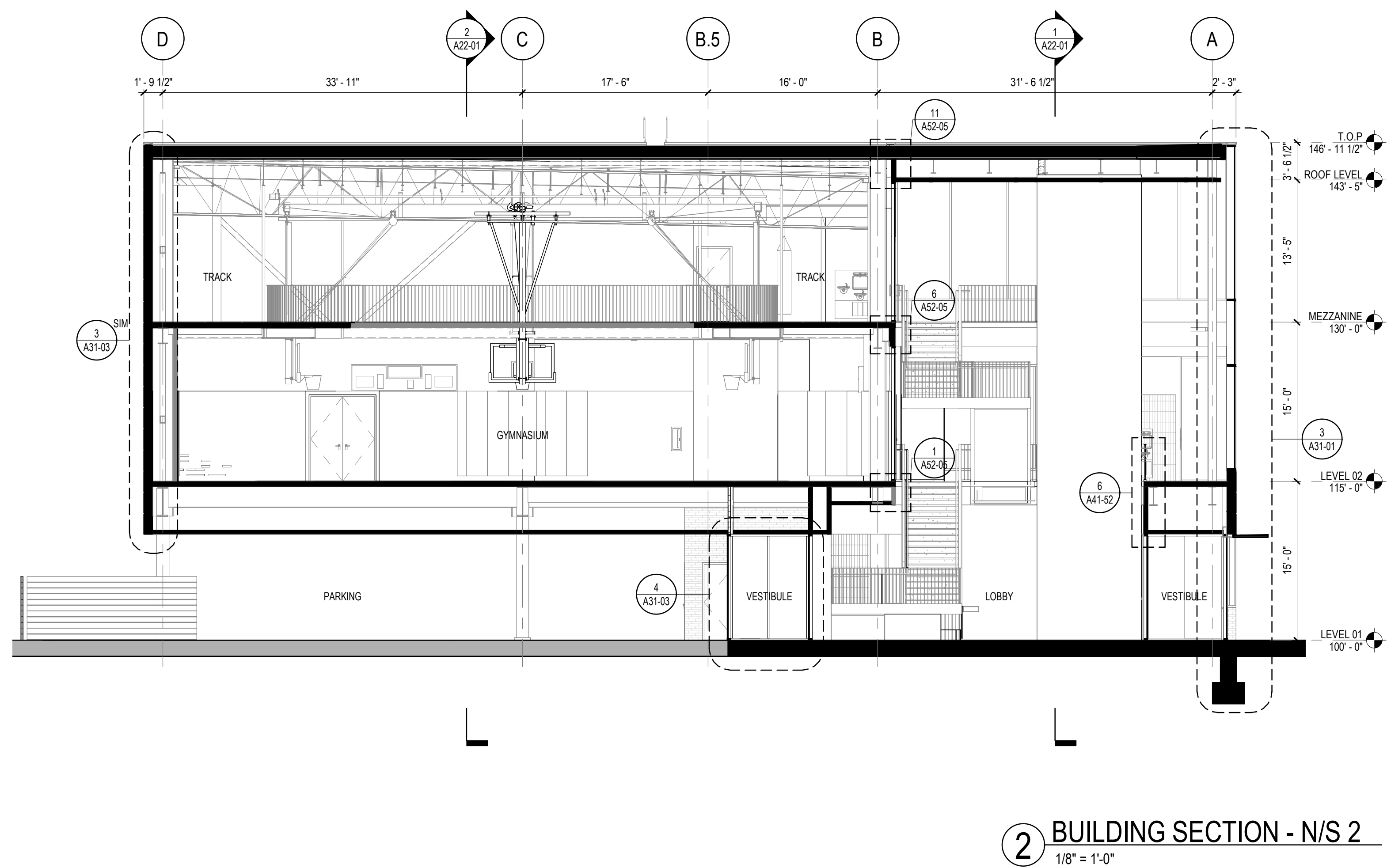
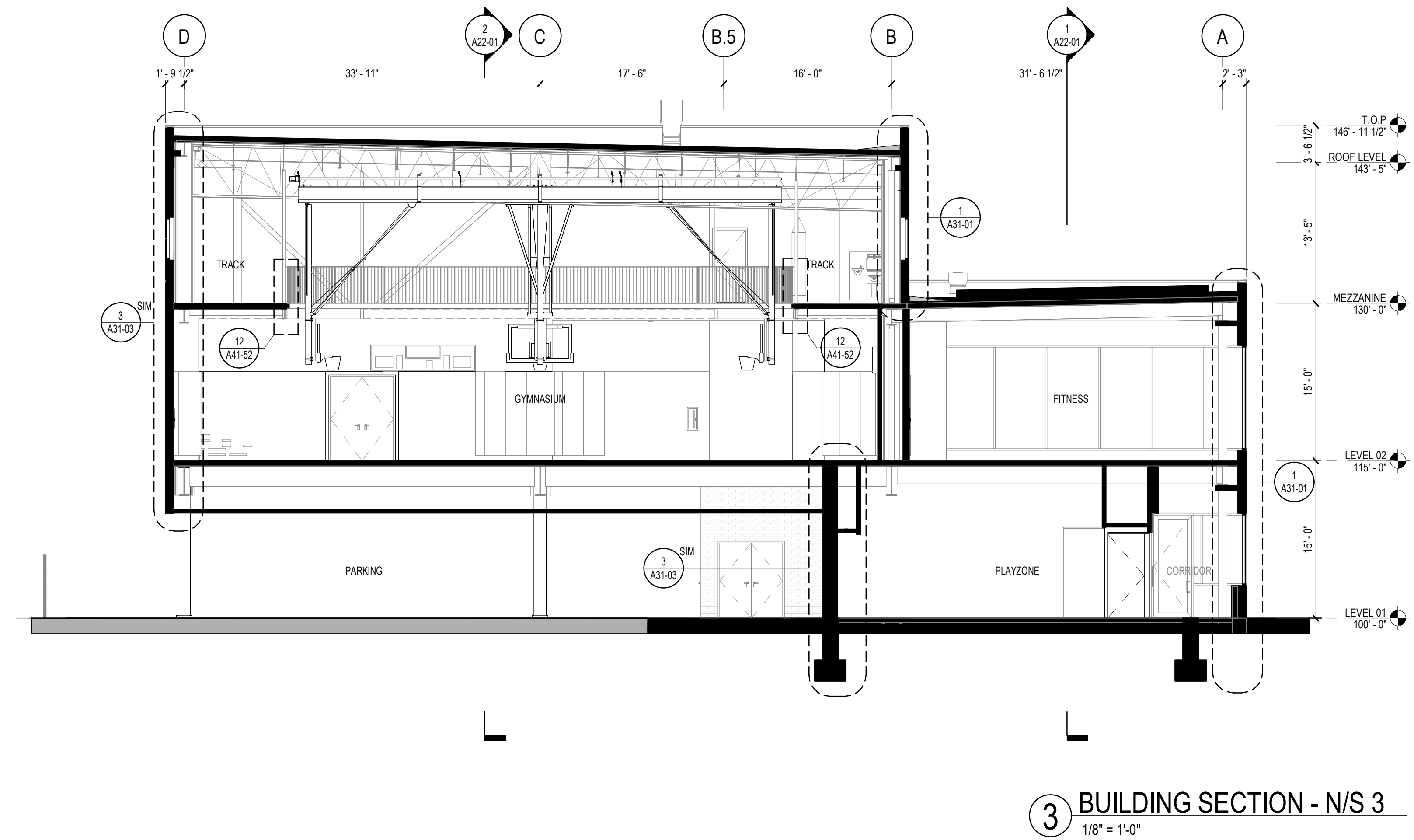
RCP LEGEND

RCP GENERAL NOTES

- SUSPENDED 2 X 2' ACoustICAL CEILING SYSTEM
- SUSPENDED 2 X 4' ACoustICAL CEILING SYSTEM
- SUPPLY AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- EXHAUST AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- SUPPLY STRIP DIFFUSER RE: MECHANICAL CONTROL JOINT
- C.J.
- CEILING DETAIL / SECTION TAG
- GYPSUM BOARD CEILING
- SUSPENDED CEMENT PLASTER SOFFIT
- EXPOSED STRUCTURE
- WALL MOUNTED LIGHT FIXTURE

1. THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
2. SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
3. 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.
4. THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE THE FIRE RATED TYPE EQUAL TO THE RATING OF THE CEILING IN WHICH THEY OCCUR. CONTRACTOR TO VERIFY ACCESS PANEL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

2	90% CONSTRUCTION DOCUMENTS	12/18/20
1	100% DESIGN DEVELOPMENT	09/11/20
ISSUE	DATE	
Job Number	022527.000	TITLE



**PARTITION TYPES
GENERAL NOTES**

Secondary partition type
between Fitness and
Fitness Storage

- REFER TO FINISH SCHEDULE FOR FINAL FINISHES ON PARTITIONS. PARTITION TYPES IN CHARTS REFER TO BASE WALL ONLY.
 - WHEN BLOCKING REQUIRED IN A PARTITION, USE A MINIMUM .033" (20 GA) STUD.
 - "LINE OF STRUCTURE" AS SHOWN AT THE HEAD CONDITIONS OF THE PARTITION DETAIL DOES NOT INDICATE THE EXACT CONSTRUCTION CONDITION. REFER TO G02 SERIES "CODE COMPLIANCE DETAILS" FOR ADDITIONAL INFORMATION CONCERNING RATED PARTITIONS.
 - ISOLATE NON-LOAD BEARING FRAMING FROM STRUCTURAL ELEMENTS TO PREVENT THE TRANSFER OF LOAD TO PARTITION FRAMING. STOP STUDS 3/4" BELOW CEILING RUNNER (TOP TRACK) TO ALLOW FOR VERTICAL EXPANSION. SET TOP TRACK 1" BELOW DEFLECTION CHANNEL. DO NOT ATTACH STUDS TO TOP TRACK. DO NOT ATTACH GYPSUM BOARD TO THE DEFLECTION TRACK. THIS MAY ALSO BE ACHIEVED, AT THE CONTRACTOR'S OPTION, BY UTILIZING THE PROPRIETARY SYSTEM DESCRIBED IN THE SPECIFICATIONS.
 - REFER TO INTERIOR DOOR AND FRAME DETAILS FOR STUD FRAMING AT OPENINGS.
- FIRE RATED PARTITIONS**
- REFER TO G02 SERIES "CODE COMPLIANCE DETAILS" FOR ADDITIONAL INFORMATION ON PENETRATIONS THROUGH RATED PARTITIONS. FIRE RESISTANT JOINT SYSTEMS, DEFLECTION CHANNEL AT NON-BEARING PARTITIONS CONNECTION TO STRUCTURE AND WALL PRIORITY.
 - CONSTRUCT RATED PARTITIONS BEFORE NON-RATED

- ACOUSTICAL** (THE FOLLOWING NOTES APPLY TO ALL PARTITIONS DESIGNATED TO HAVE A SOUND TRANSMISSION CLASS (STC) RATING ON THE PARTITION CHARTS.)
- ALL ACOUSTICALLY CLASSIFIED PARTITIONS SHALL BE CONSTRUCTED TO MEET INDICATED STC RATING.
 - SEAL PARTITIONS AT FLOORS, SIDES, AND CEILINGS ON BOTH SIDES WITH NON-HARDENING ACOUSTICAL SEALANT.
 - AVOID COMPRESSING ACOUSTICAL BATT INSULATION AT BLOCKING AND RECESSED ITEMS IN ACOUSTIC RATED WALLS
 - REFER TO DETAILS ON SHEET A61-50 FOR PARTITION TYPES WITH A DESIGNATED STC RATING.
 - SEAL ALL WALL INTERSECTIONS AND CONTROL JOINTS AT ACOUSTICALLY CLASSIFIED PARTITIONS IN ACCORDANCE WITH DETAILS ON SHEET A61-50
 - SEAL ALL CONDUIT, STRUCTURAL DUCT AND LARGE PIPE PENETRATIONS ACCORDING TO DETAILS ON SHEET A61-50 UNLESS THE PARTITION IS ALSO FIRE RATED WHERE THE CODE COMPLIANCE DETAILS ON THE G02 SERIES, "CODE COMPLIANCE DETAILS"
 - OUTLETS ON OPPOSITE SIDES OF ACOUSTICALLY CLASSIFIED PARTITIONS SHOULD BE SEPARATED BY A MINIMUM OF ONE STUD. SEAL OUTLETS IN ACCORDANCE WITH DETAILS ON SHEET A61-50 UNLESS THE PARTITION IS FIRE RATED. IF THE PARTITION IS FIRE RATED THEN REFER TO A02 SERIES, "CODE COMPLIANCE DETAILS"
 - ALL BOXES REQUIRED TO BE ACOUSTICALLY SEALED SHALL BE SEALED PRIOR TO CLOSING IN PARTITIONS AND INSTALLING DEVICES AND COVER PLATES. VERIFY COMPLIANCE WITH STCA

A

	A1	A2	A3	A4	A5	A6	A7	A8
1-HR RATED WITH GYP BD TO STRUCTURE ABOVE	(A10)	(A20)	(A30)	(A40)	(A50)	(A60)	(A70)	(A80)
NON-RATED WITH GYP BD TO STRUCTURE ABOVE	(A11)	(A21)	(A31)	(A41)	(A51)	(A61)	(A71)	(A81)
NON-RATED WITH GYP BD TO 8' ABOVE CEILING	(A12)	(A22)	(A32)	(A42)	(A52)	(A62)	(A72)	(A82)
NON-RATED WITH STUDS & GYP BD TO FINISHED CEILING	(A13)	(A23)	(A33)	(A43)	(A53)	(A63)	(A73)	(A83)
PARTIAL HEIGHT PARTITION. SEE FLOOR PLANS FOR HEIGHTS.	(A14)	(A24)	(A34)	(A44)	(A54)	(A64)	(A74)	(A84)
STUD SIZE	2 1/2"	2 1/2"	3 5/8"	3 5/8"	4"	4"	6"	6"
BASIC PARTITION THICKNESS	3 3/4"	3 3/4"	4 7/8"	4 7/8"	5 1/4"	5 1/4"	7 1/4"	7 1/4"
ACOUSTICAL INSULATION	-	YES	-	YES	-	YES	-	YES
FIRE TEST NUMBER (WHERE APPLICABLE)	-	UL DES U454	UL DES U455	UL DES U456	UL DES U456	UL DES U456	UL DES U455	UL DES U455

D

	D0	D1	D2	D3	D4	D5	D6	D7	D8	D9
NON-RATED WITH GYP BD TO STRUCTURE ABOVE	(D01)	(D11)	(D21)	(D31)	(D41)	(D51)	(D61)	(D71)	(D81)	(D91)
NON-RATED WITH GYP BD TO 8' ABOVE CEILING	(D02)	(D12)	(D22)	(D32)	(D42)	(D52)	(D62)	(D72)	(D82)	(D92)
NON-RATED WITH STUDS & GYP BD TO FINISHED CEILING	(D03)	(D13)	(D23)	(D33)	(D43)	(D53)	(D63)	(D73)	(D83)	(D93)
STUD SIZE	7/8" HAT	2 1/2"	2 1/2"	3 5/8"	3 5/8"	4"	4"	6"	6"	1 1/2"
BASIC PARTITION THICKNESS	1 1/2"	3 1/8"	3 1/8"	4 1/4"	4 1/4"	4 5/8"	4 5/8"	6 5/8"	6 5/8"	2 1/8"
ACOUSTICAL INSULATION	-	-	YES	-	YES	-	YES	-	YES	YES

N

	N2	N3	N4	N5	N6
NON-FIRE RATED CMU TO STRUCTURE ABOVE	(N20)	(N30)	(N40)	(N50)	(N60)
1-HR RATED CMU TO STRUCTURE ABOVE	(N21)	(N31)	(N41)	(N51)	(N61)
NON-FIRE RATED CMU TO 8' ABOVE CEILING	(N25)	(N35)	(N45)	(N55)	(N65)
NON-FIRE RATED CMU TO UNDER SIDE OF CEILING	(N26)	(N36)	(N46)	(N56)	(N66)
PARTIAL HEIGHT PARTITION	(N27)	(N37)	(N47)	(N57)	(N67)
BASIC PARTITION THICKNESS	3 5/8"	5 5/8"	7 5/8"	9 5/8"	11 5/8"
NOMINAL MASONRY THICKNESS	4"	6"	8"	10"	12"
FIRE TEST NUMBER (WHERE APPLICABLE)	-	UL DESIGN U906 (1+2 HR) NOTE 3	UL DESIGN U905 (1+2 HR) U904 (3 HR) U901 (4 HR)	UL DESIGN U905 (1+2 HR) U904 (3 HR) U901 (4 HR)	UL DESIGN U905 (1+2 HR) U904 (3 HR) U901 (4 HR)

NOTE:
1. REFER TO UL DESIGN FOR ALLOWABLE COMPRESSIVE STRESS IN CMU.
2. REFER TO UL DESIGN FOR ADDITIONAL CMU CRITERIA.
3. FIGURES SHOWN ARE FOR NORMAL WEIGHT, HOLLOW CORE CONCRETE MASONRY UNITS.

Primary partition type
between Fitness/Storage
and Wellness Suite

V

	V1	V2	V3	V4	V5	V6	V7	V8
2-HR RATED WITH GYP BD TO STRUCTURE ABOVE	(V10)	(V20)	(V30)	(V40)	(V50)	(V60)	(V70)	(V80)
NON-RATED WITH GYP BD TO STRUCTURE ABOVE	(V11)	(V21)	(V31)	(V41)	(V51)	(V61)	(V71)	(V81)
STUD SIZE	2 1/2"	2 1/2"	3 5/8"	3 5/8"	4"	4"	6"	6"
BASIC PARTITION THICKNESS	5 1/2"	5 1/2"	6 5/8"	6 5/8"	7"	7"	9"	9"
ACOUSTICAL INSULATION	-	YES	-	YES	-	YES	-	YES
FIRE TEST NUMBER (WHERE APPLICABLE)	UL DES U454	UL DES U454	UL DES U454	UL DES U454	UL DES U454	UL DES U454	UL DES U454	UL DES U454

Typical acoustic partition details

INTERIOR PARTITION DETAILS GENERAL NOTES

- METAL STUD THICKNESS (GAUGE) SHALL NOT EXCEED THAT TESTED FOR THE STC RATING REQUIRED UNLESS REQUIRED BY UL DESIGN.
- METAL STUD SPACING SHALL NOT BE LESS THAN THAT TESTED FOR THE STC RATING REQUIRED.
- SELECT SYSTEMS THAT MEET REQUIREMENTS FOR BOTH STC AND FIRE-RESISTANCE TESTED ASSEMBLIES WHERE REQUIRED.
- ISOLATE GYP BOARD EDGES FROM STRUCTURAL ATTACHMENTS BY 1/2".

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COMMUNITY
RECREATION CENTER**
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PARK DISTRICT OF OAK PARK

218 MADISON STREET
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KEYPLAN

90% CONSTRUCTION DOCUMENTS

ISSUE CHART

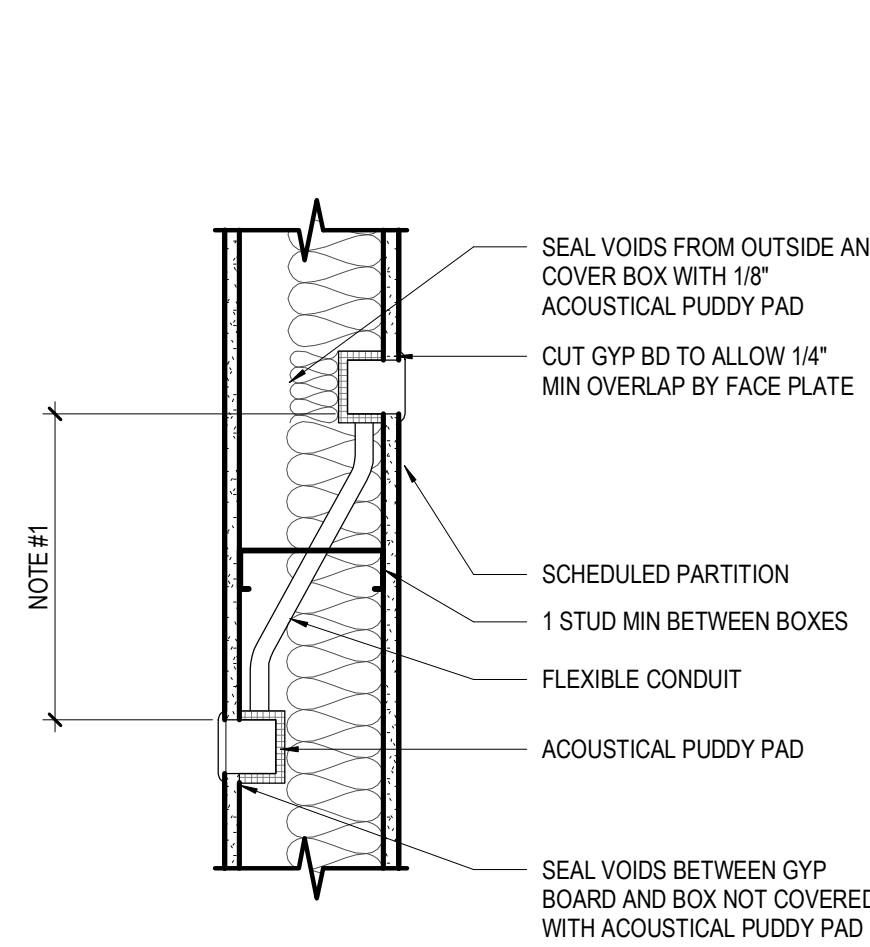
2	90% CONSTRUCTION DOCUMENTS	12/18/20
1	100% DESIGN DEVELOPMENT	09/11/20
ISSUE	DATE	DATE
Job Number	022527-000	TITLE

INTERIOR PARTITION DETAILS

SHEET NUMBER

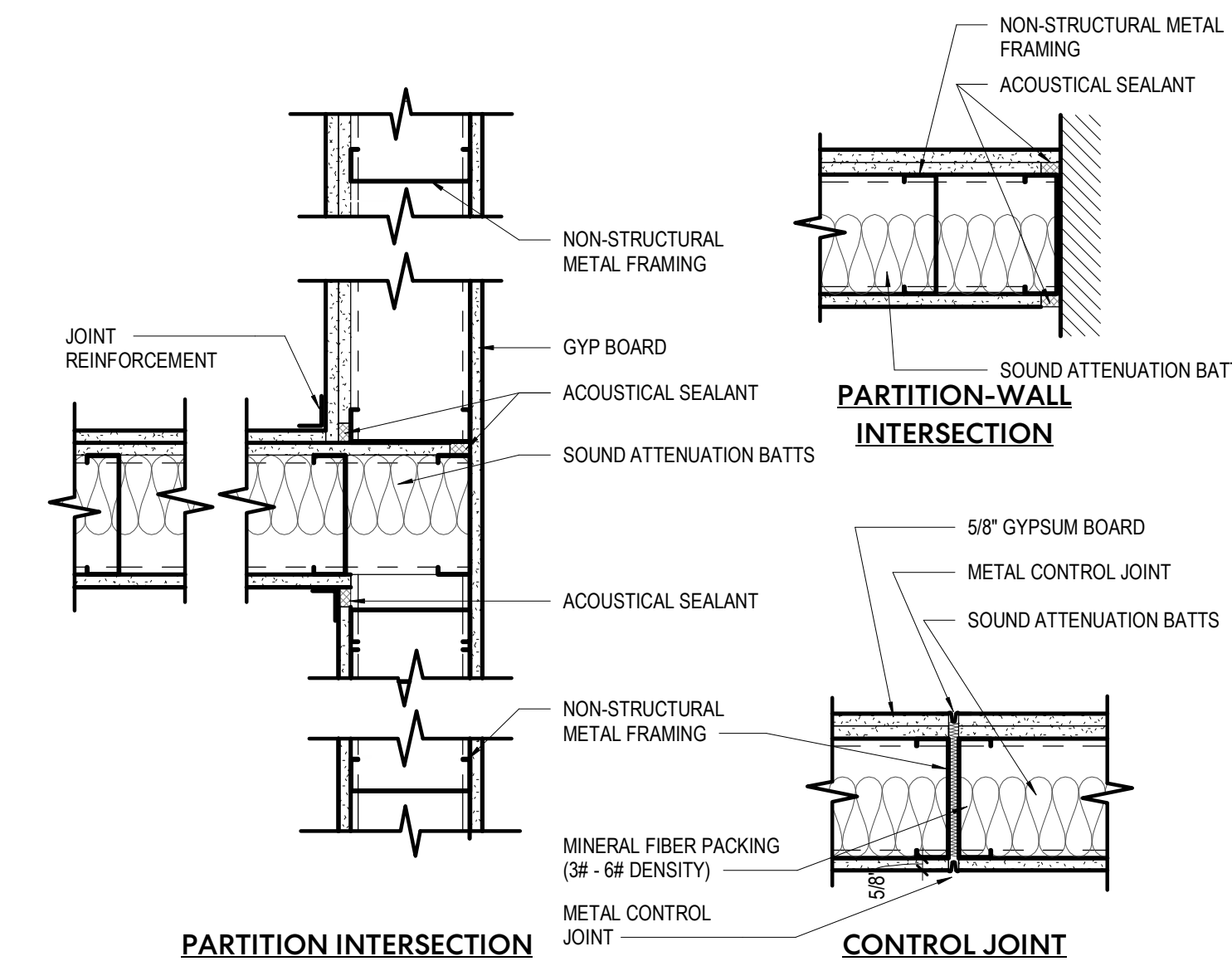
A61-51

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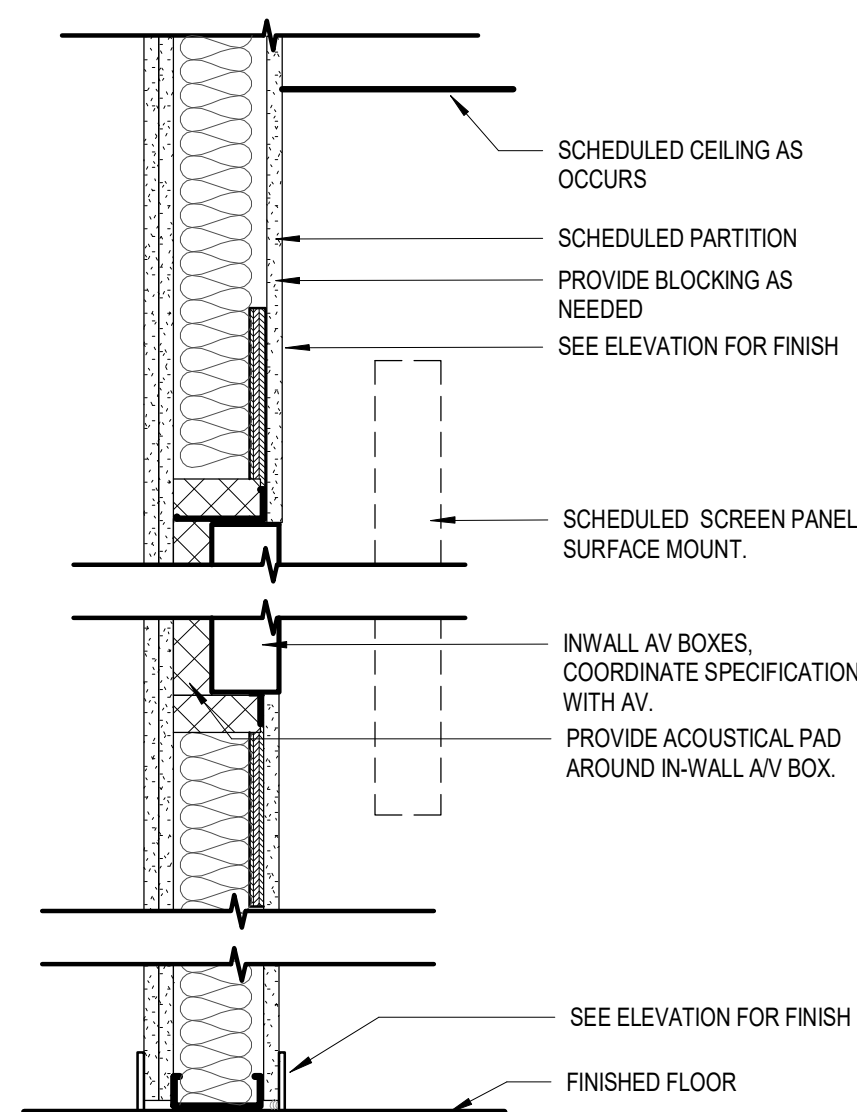


NOTES:
1. 1/2" MINIMUM UNLESS NOTED OTHERWISE IN PARTITION CHART.

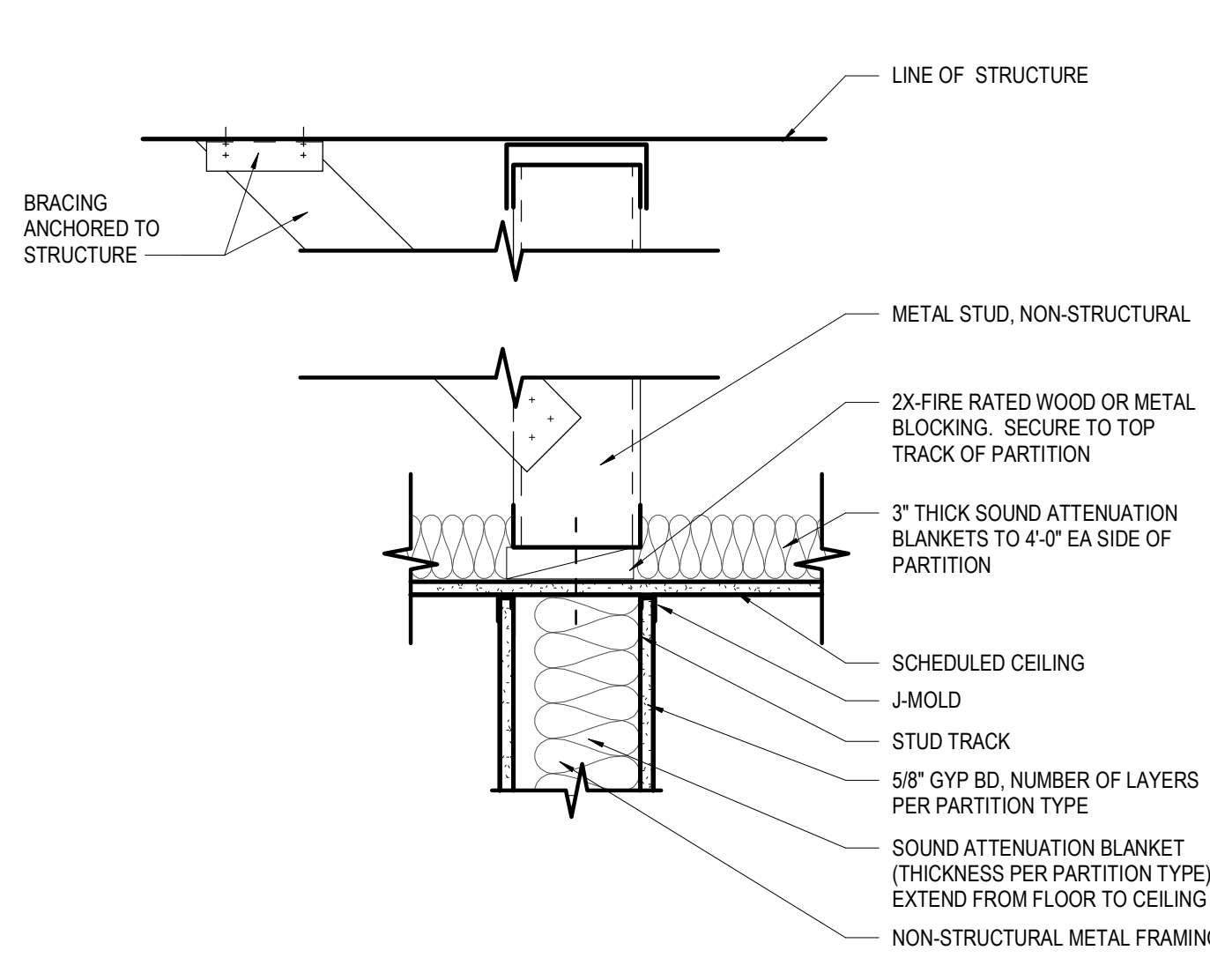
10 ACOUSTICAL PARTITION PLAN DETAIL
1 1/2" = 1'-0" | BACK BOX INSTALLATION DETAIL @ NON-FIRE RATED PARTITION



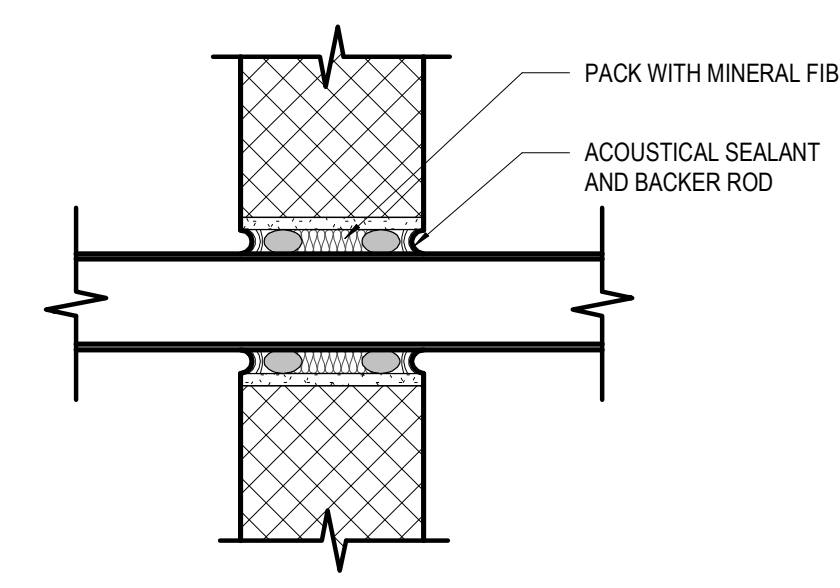
09 ACOUSTICAL PARTITION PLAN DETAILS
1 1/2" = 1'-0" | PARTITION INTERSECTIONS AND GYP CONTROL JOINTS



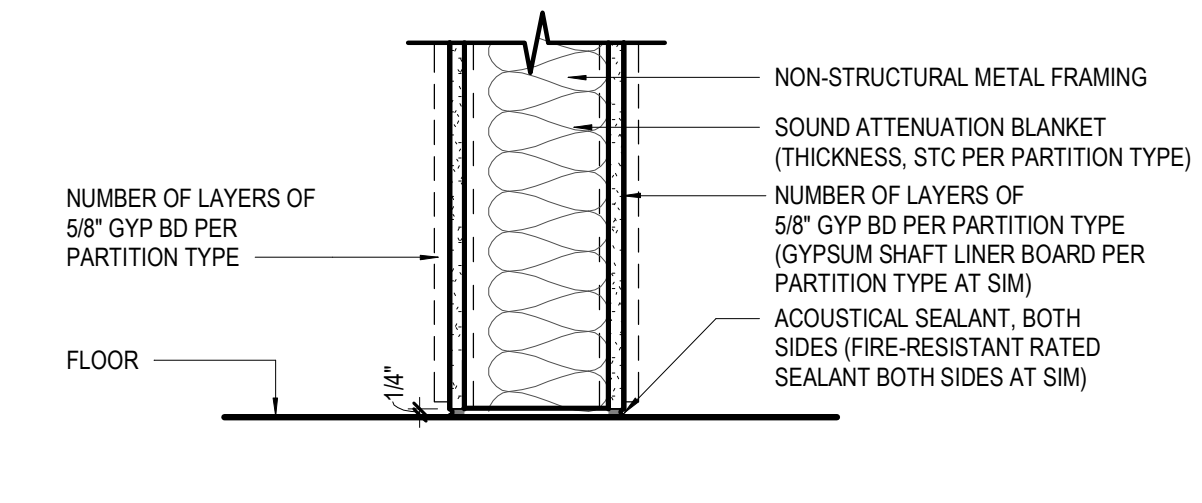
08 SURFACE MOUNT ON GYP. BD
1 1/2" = 1'-0"



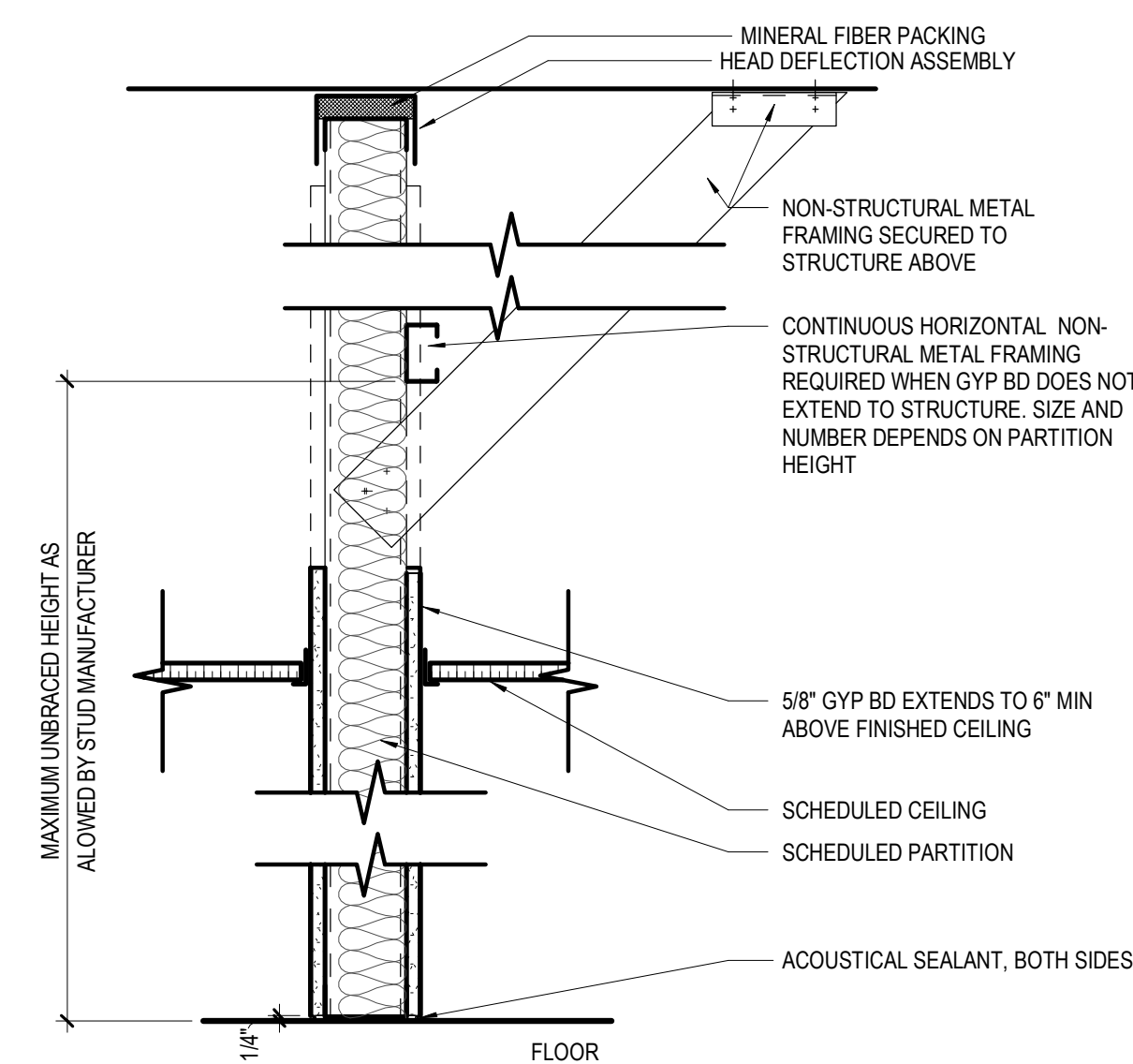
07 ACOUSTICAL PARTITION @ CEILING
1 1/2" = 1'-0" | WHERE GYPSUM BOARD STOPS AT THE CEILING



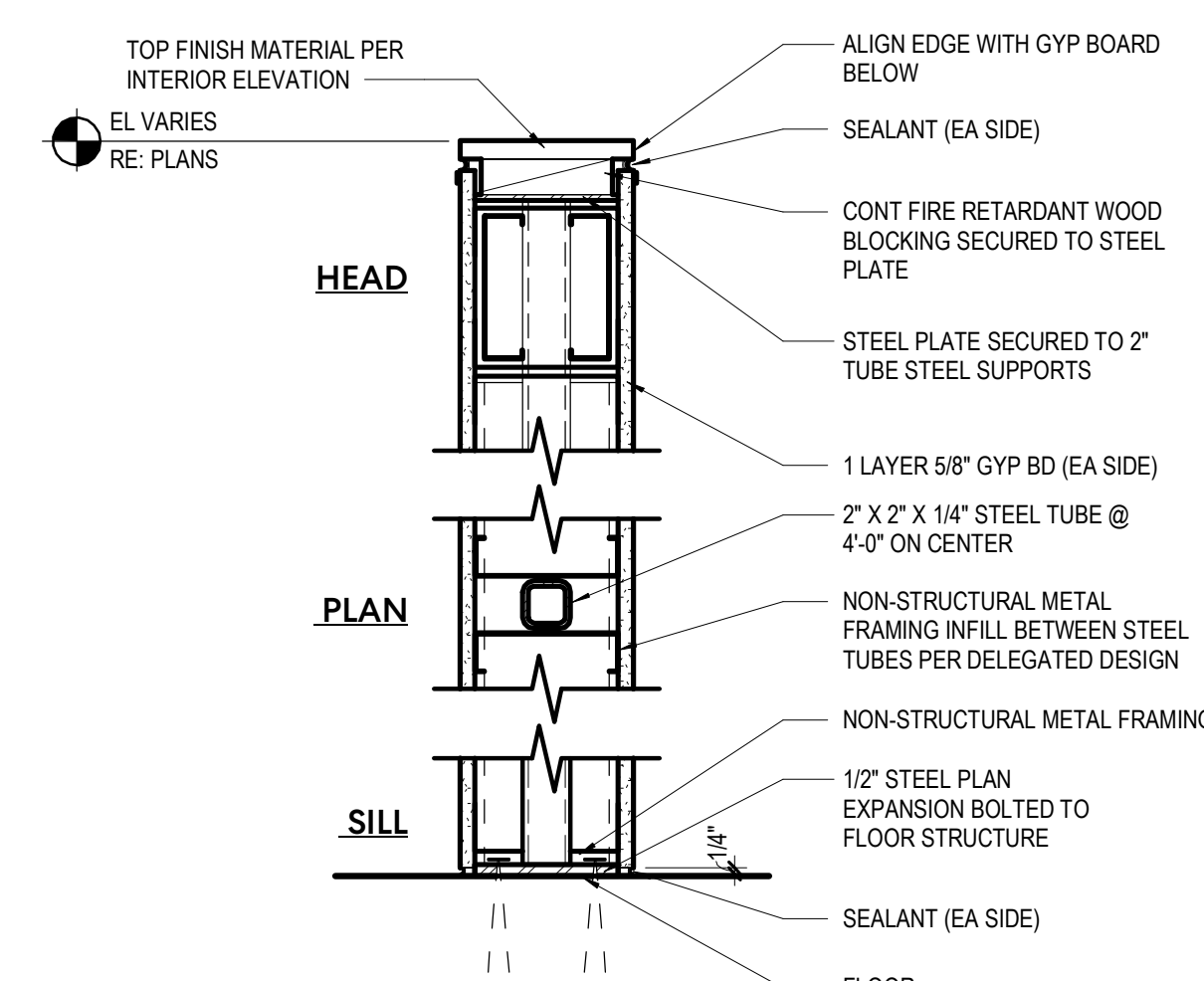
06 ACOUSTICAL PARTITION SECTION
1 1/2" = 1'-0" | PIPE PENETRATION THRU NON RATED CONCRETE/CMU



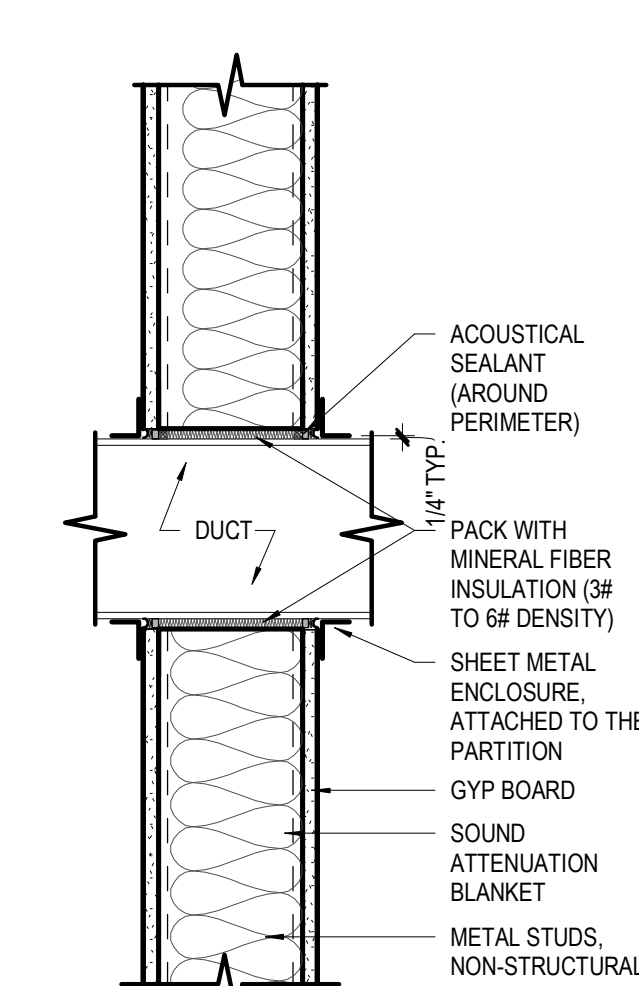
05 ACOUSTICAL PARTITION @ FLOOR
1 1/2" = 1'-0" | BOTTOM OF METAL STUD WALL



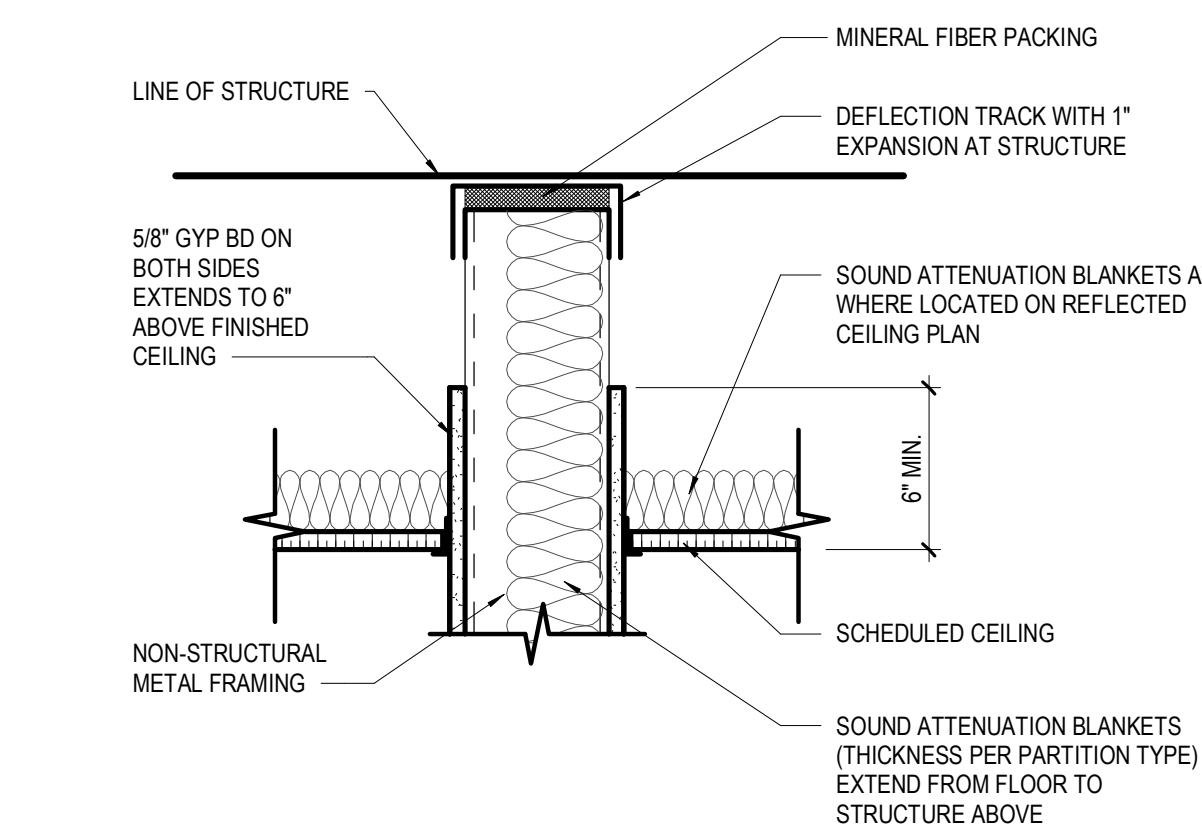
04 PARTITION SECTION
1 1/2" = 1'-0" | @ BRACING WHEN PARTITION EXCEEDS MAXIMUM HEIGHT ALLOWED BY STUD MFR



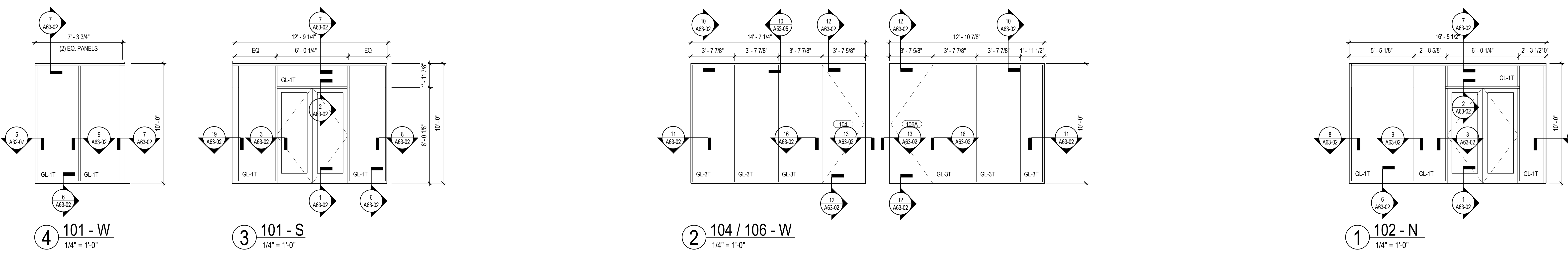
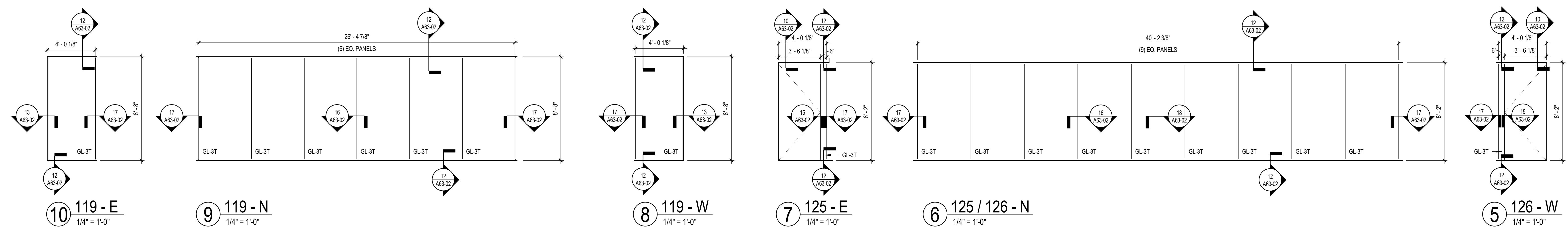
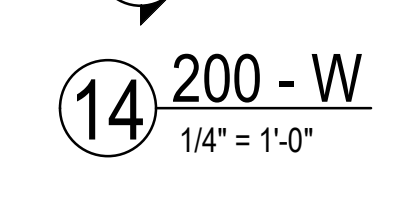
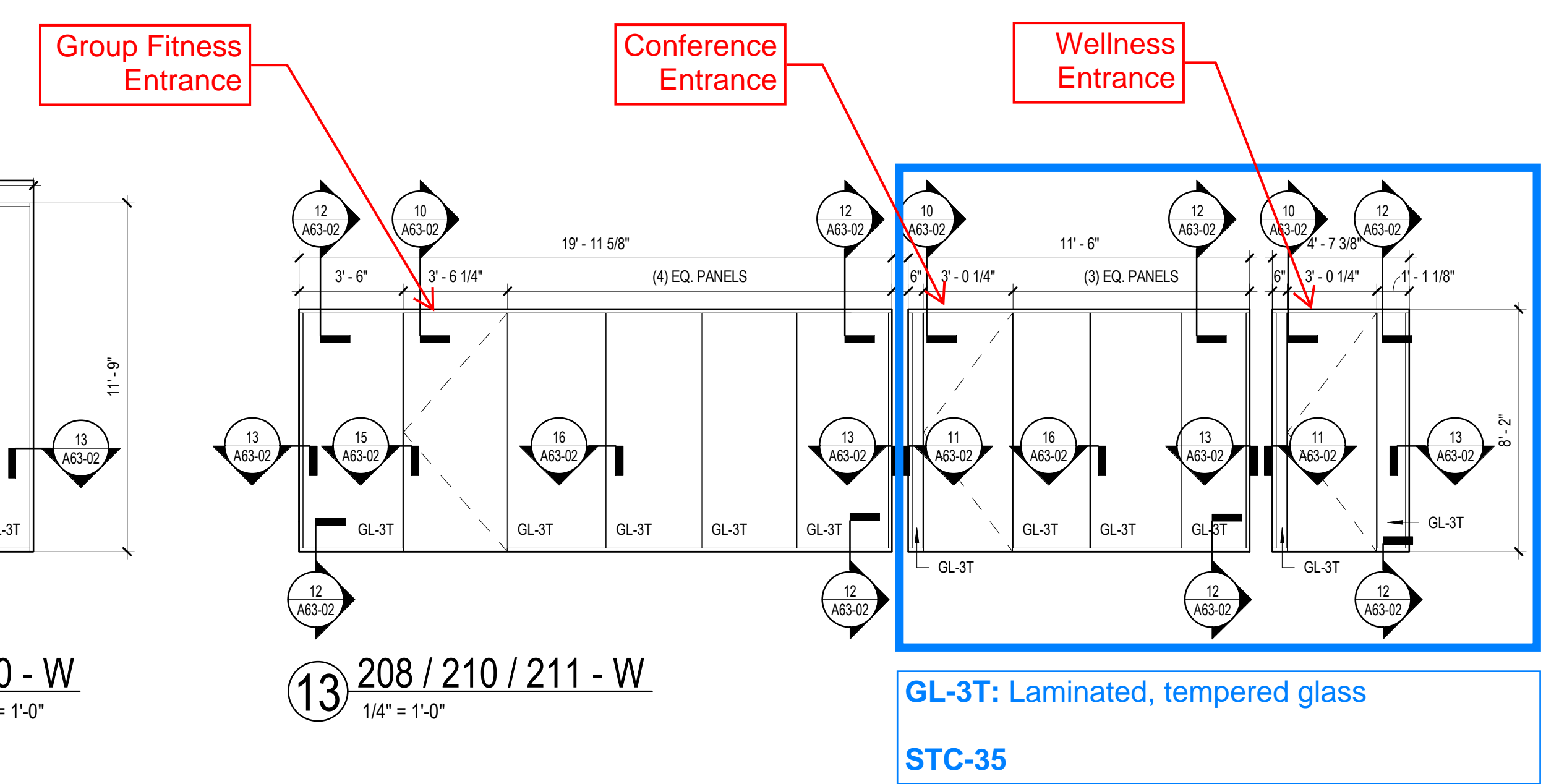
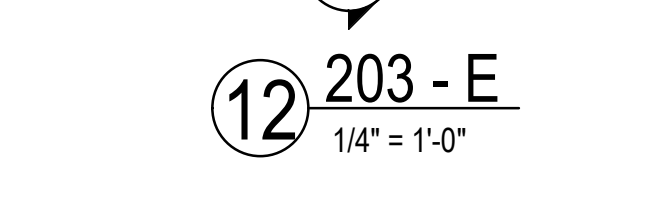
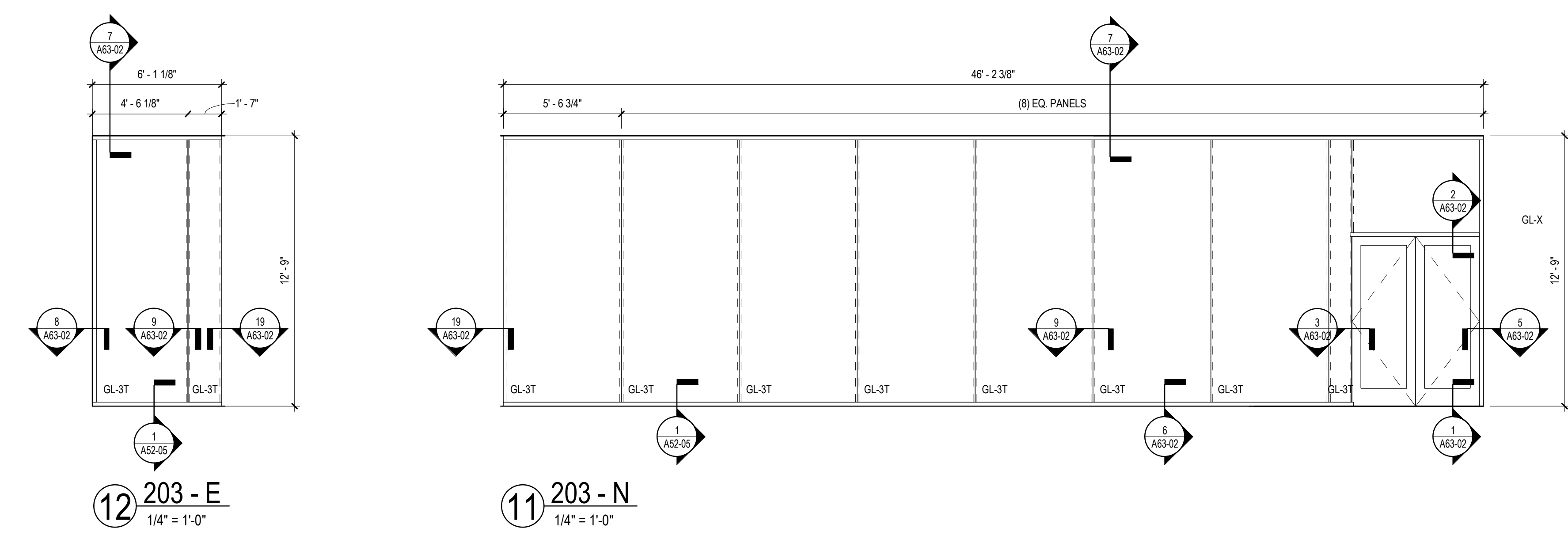
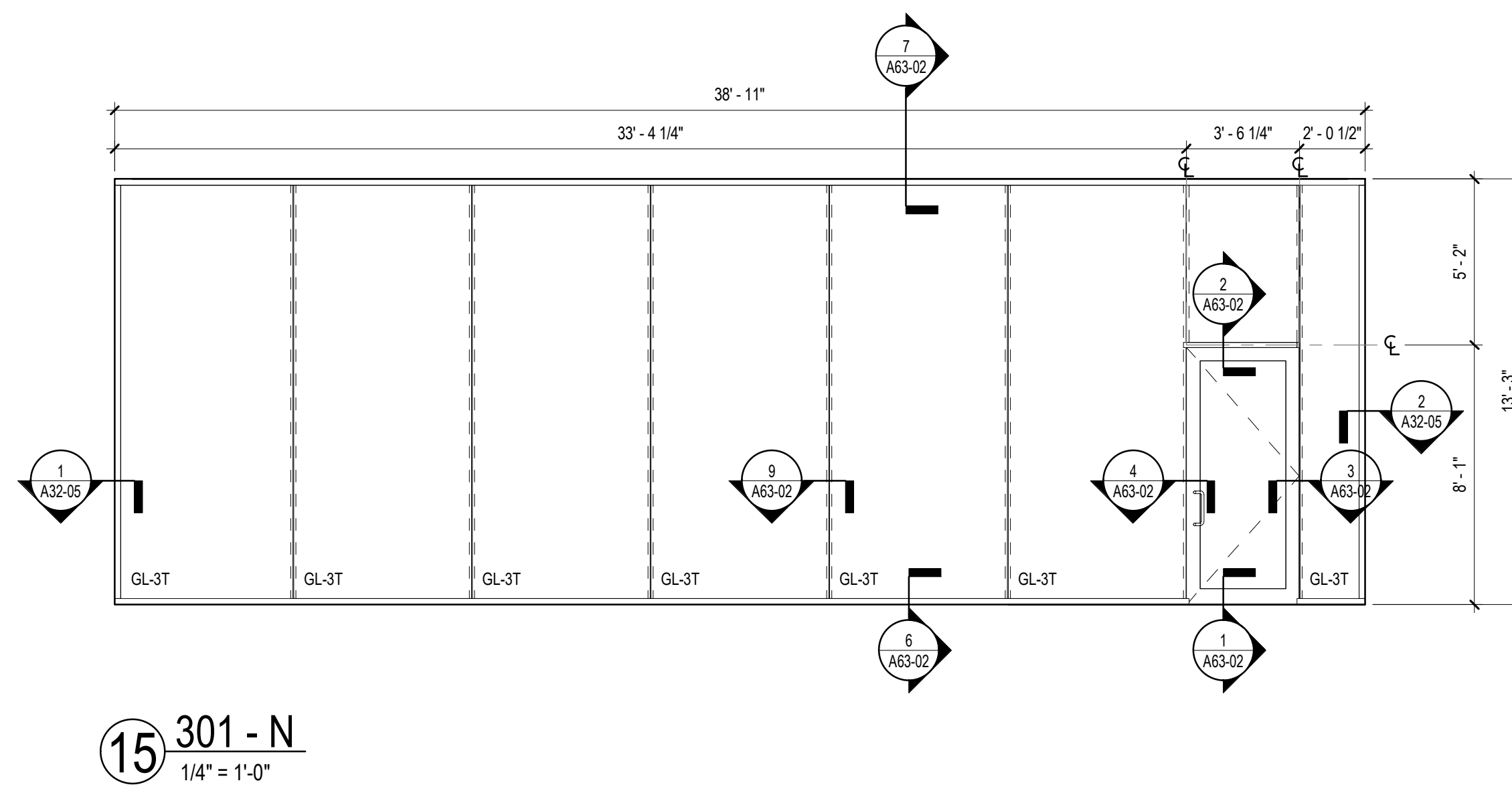
03 PARTITION SECTION
1 1/2" = 1'-0" | HEAD DTL PARTIAL HEIGHT WALL

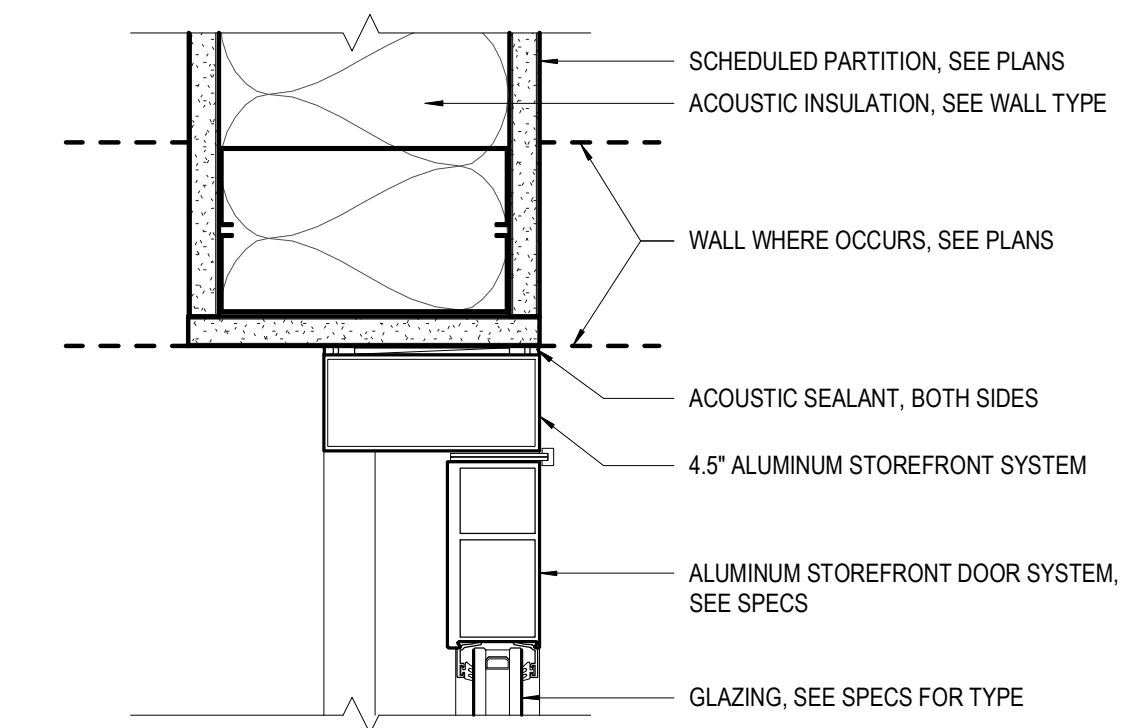


02 ACOUSTICAL DUCT SLEEVE SECTION
1 1/2" = 1'-0" | THRU NON-RATED (METAL STUD AND CMU) PARTITION

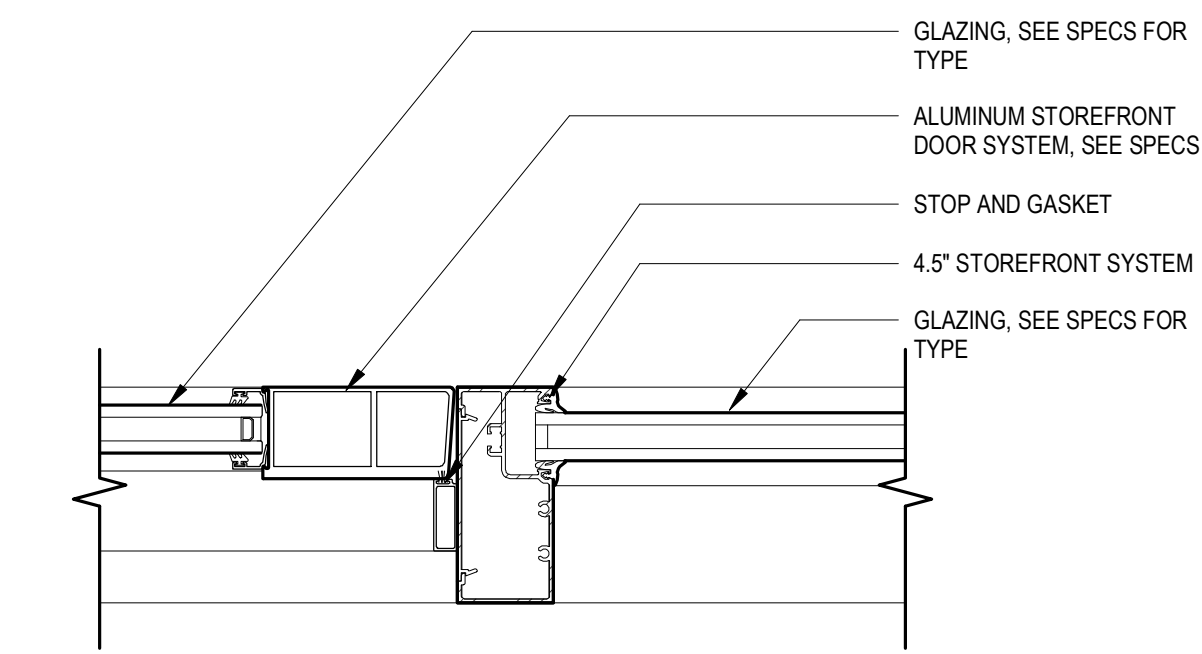


01 ACOUSTICAL PARTITION @ CEILING
1 1/2" = 1'-0" | NON-RATED W/ GYP BD TO 6\"/>

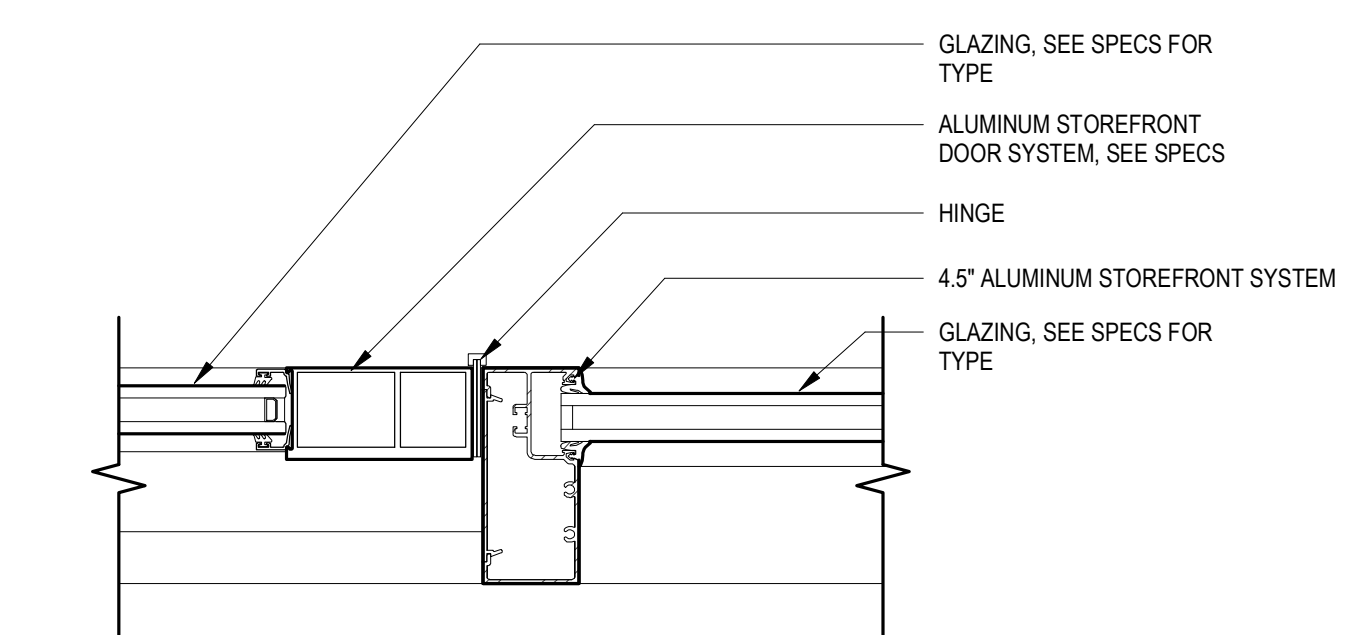




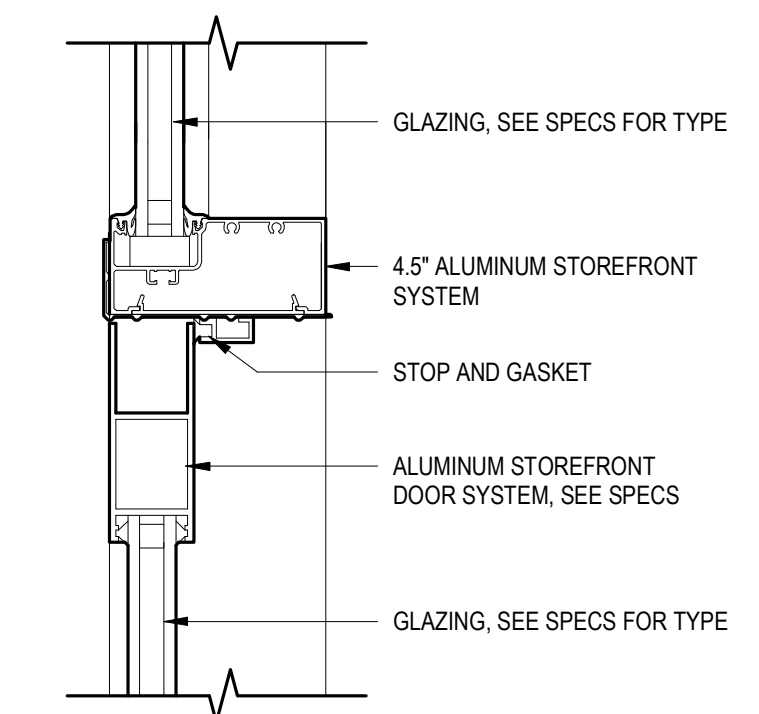
PLAN DETAIL - STOREFRONT DOOR JAMB AT STUD WALL
3" = 1'-0"



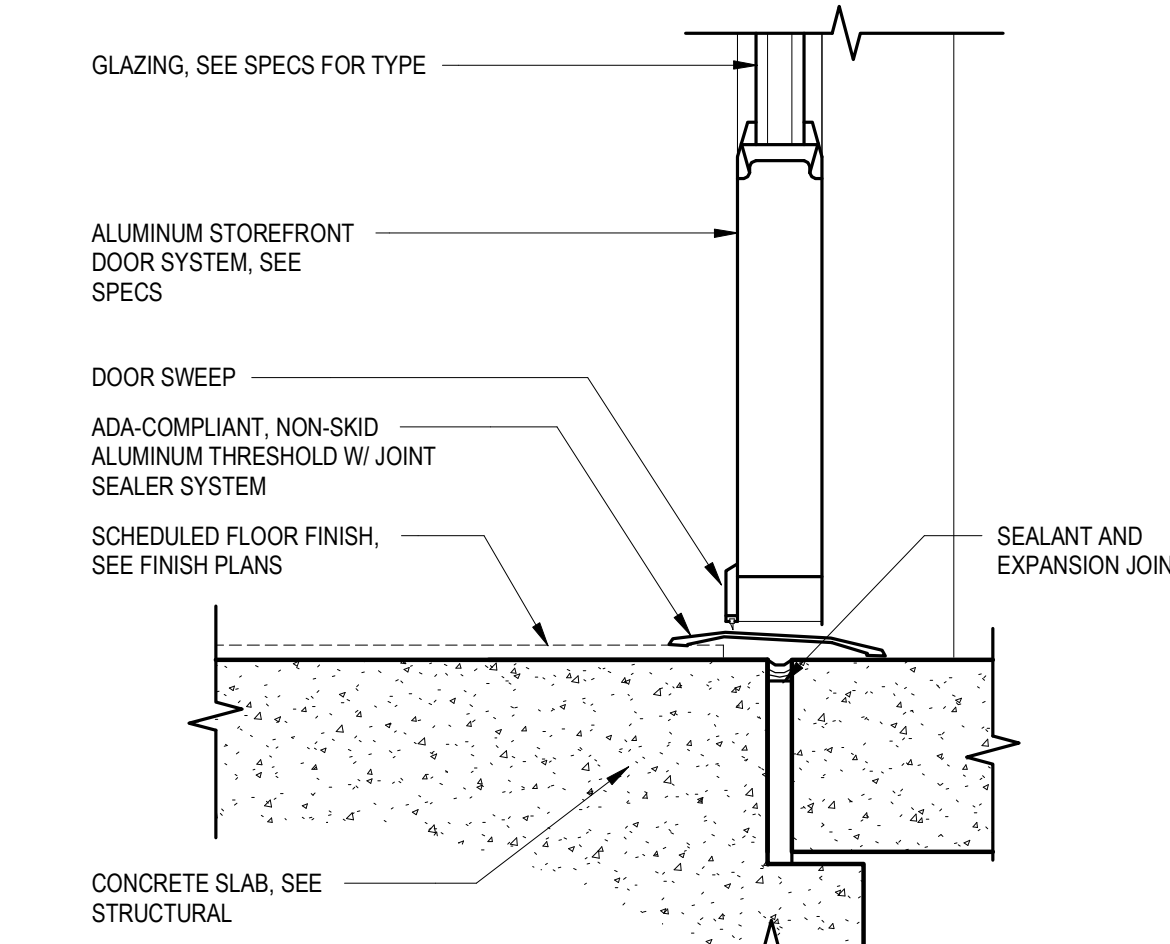
PLAN DETAIL - STOREFRONT DOOR JAMB - CLOSER
3" = 1'-0"



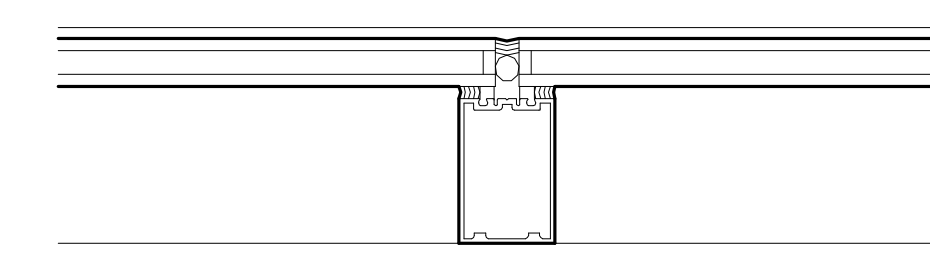
PLAN DETAIL - STOREFRONT DOOR JAMB - HINGE
3" = 1'-0"



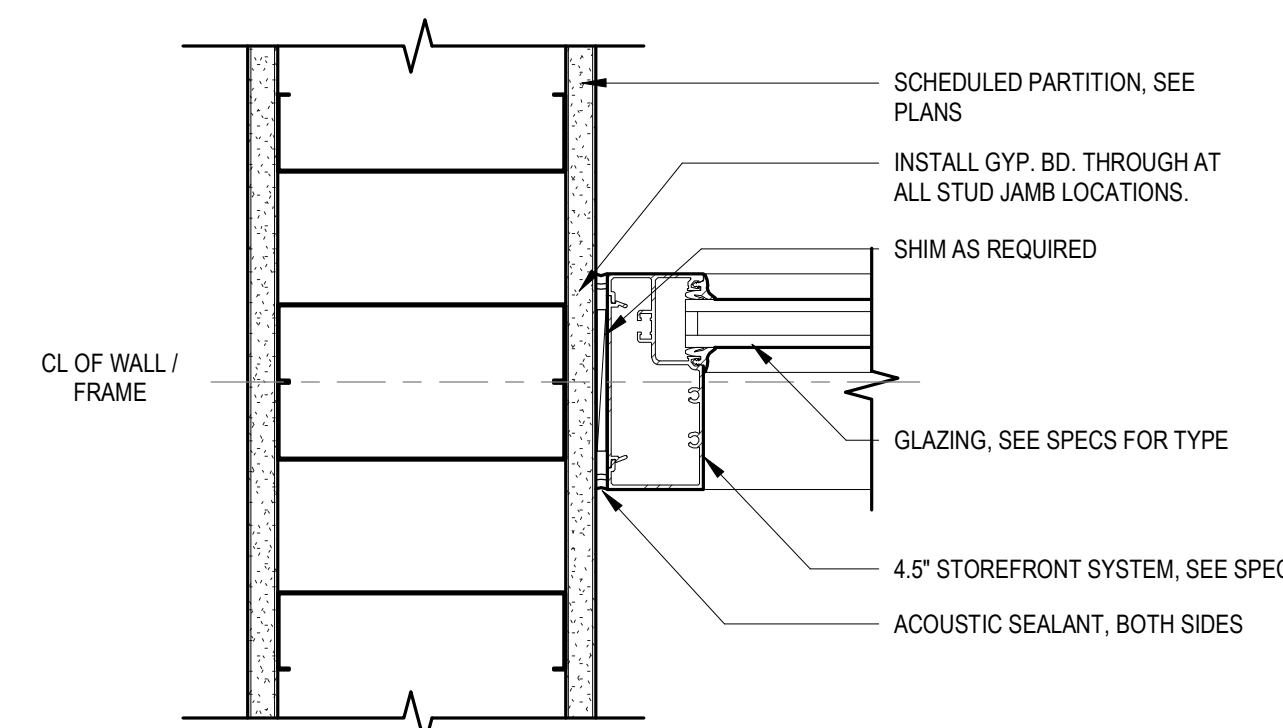
SECTION DETAIL - STOREFRONT DOOR HEAD
3" = 1'-0"



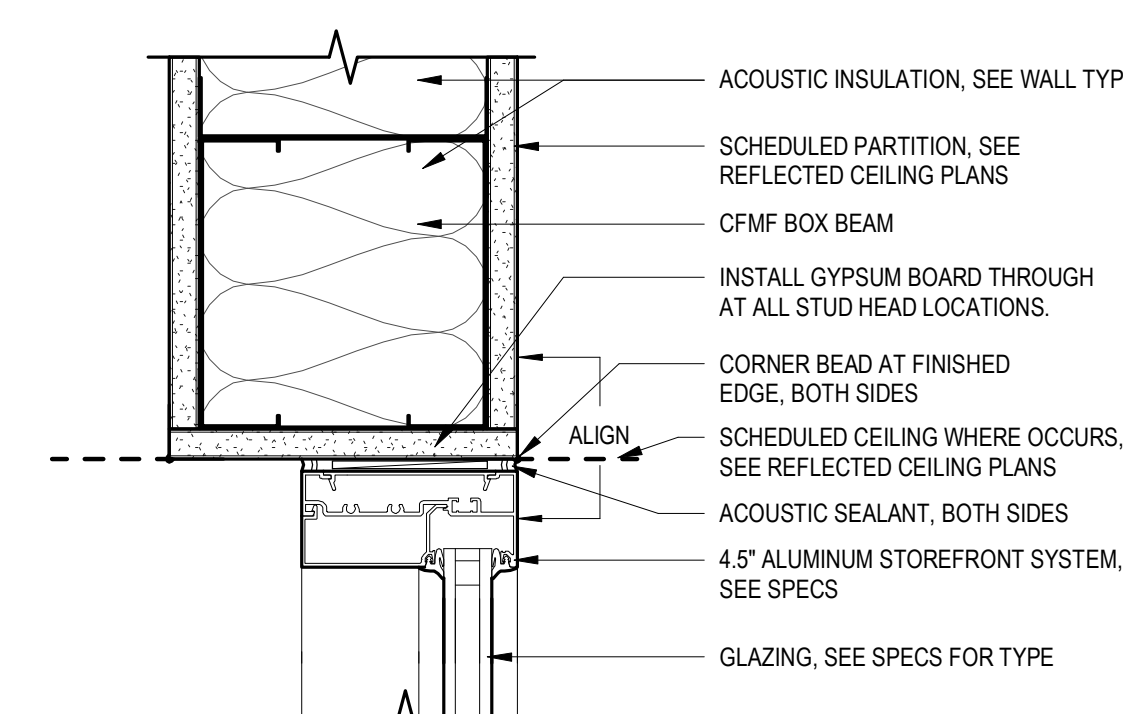
SECTION DETAIL - STOREFRONT DOOR THRESHOLD
3" = 1'-0"



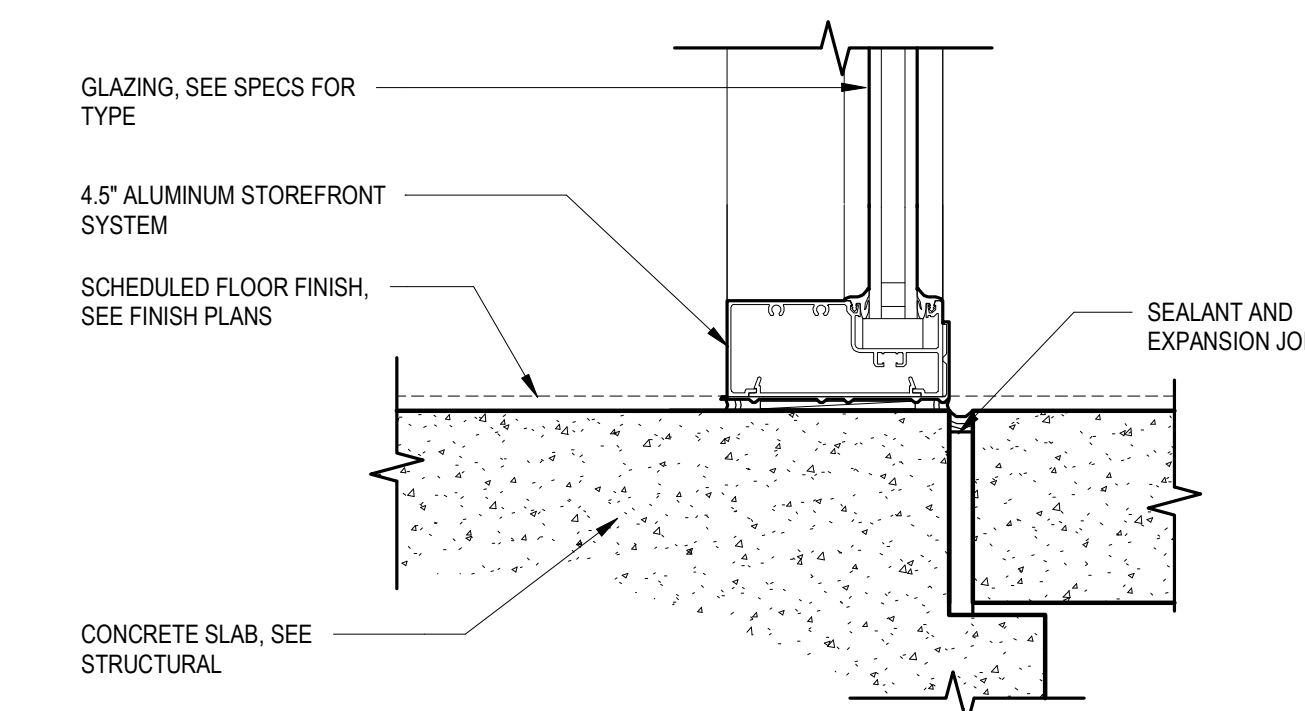
PLAN DETAIL - TYPICAL 4.5\"/>



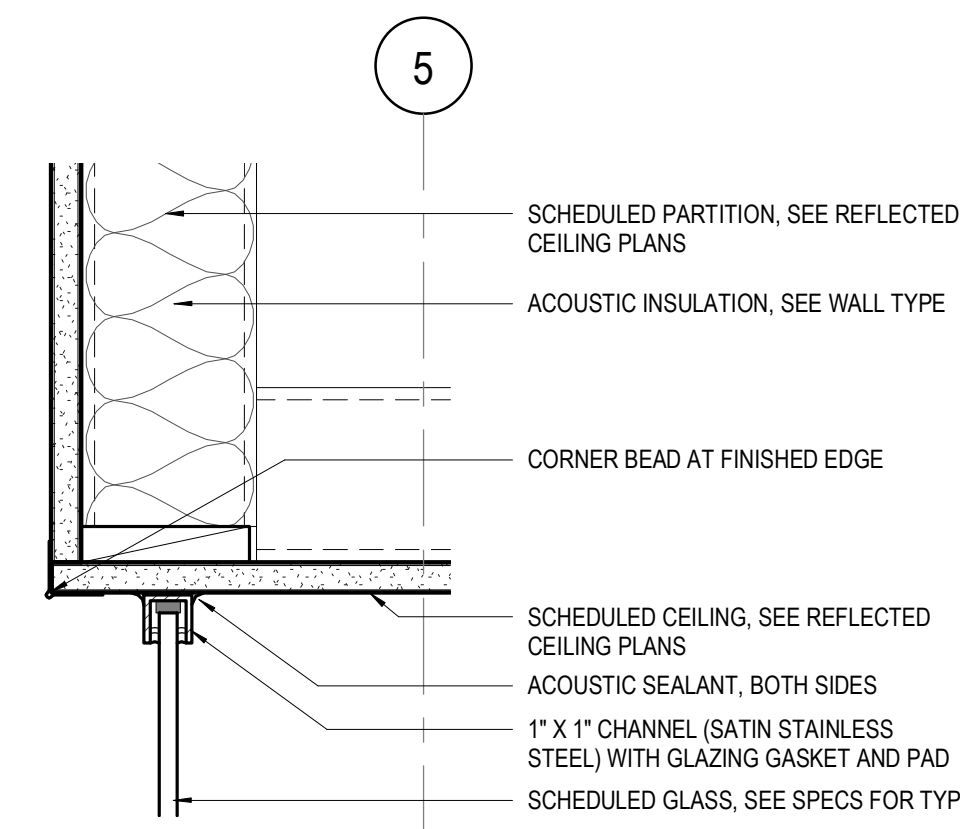
PLAN DETAIL - STOREFRONT JAMB AT PARTITION
3" = 1'-0"



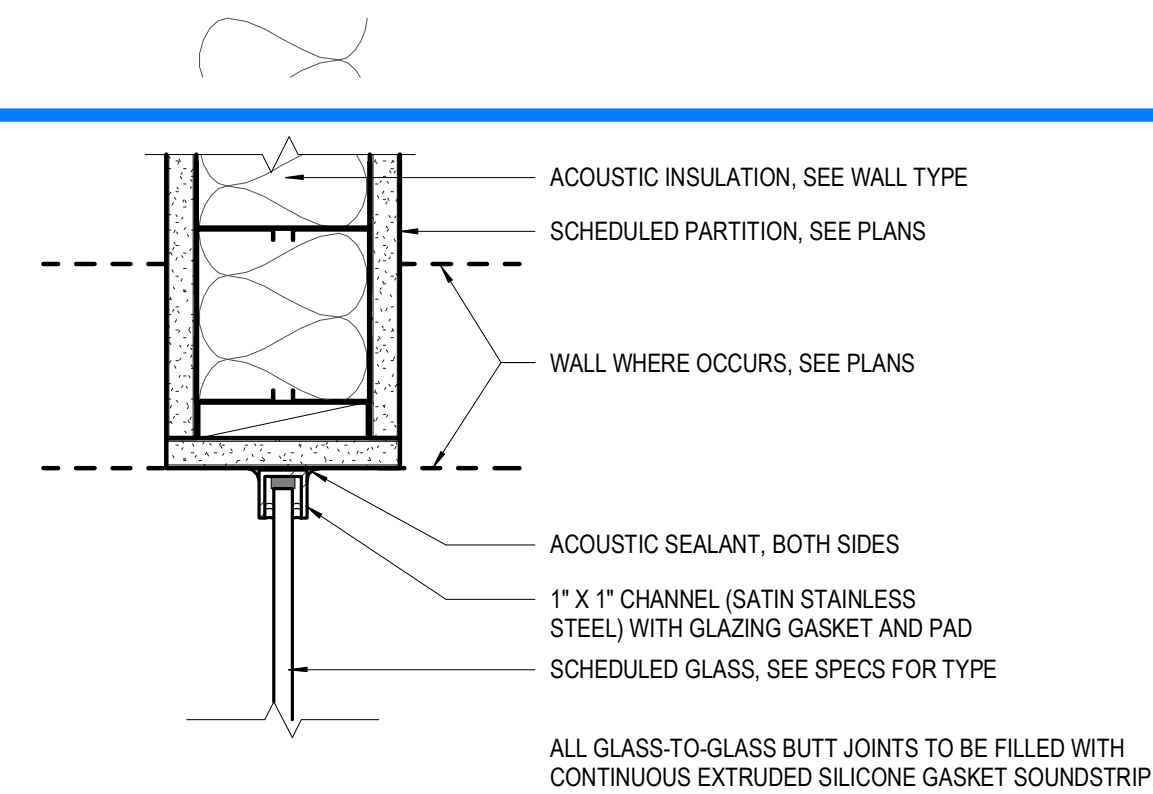
SECTION DETAIL - STOREFRONT HEAD AT BULKHEAD/CEILING
3" = 1'-0"



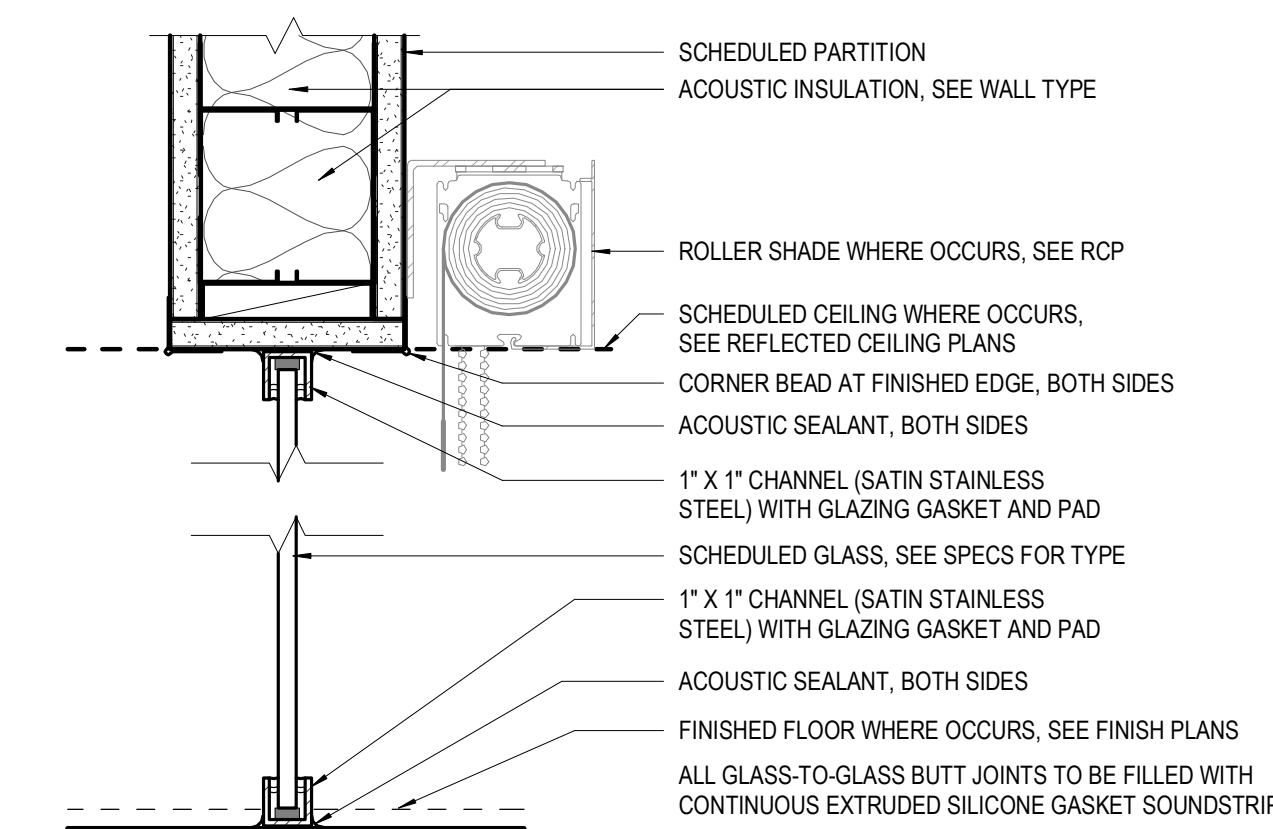
SECTION DETAIL - STOREFRONT SILL
3" = 1'-0"



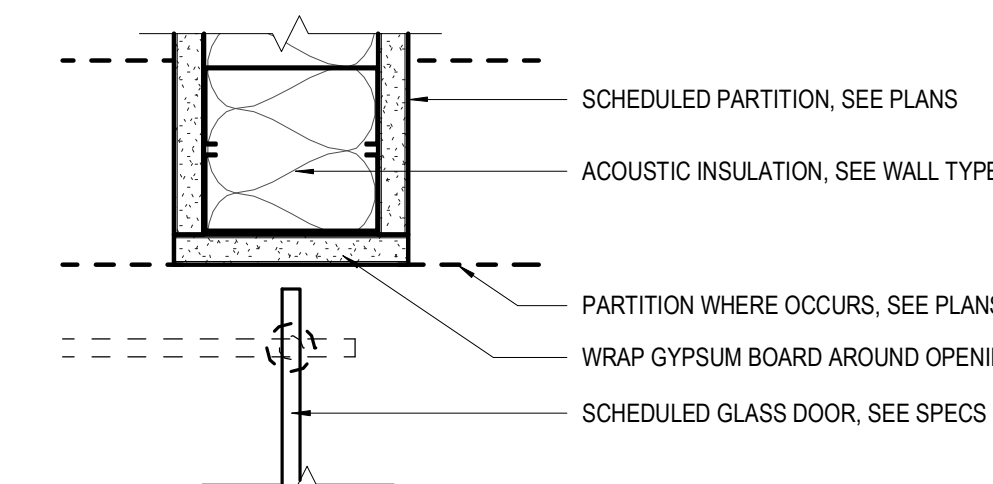
SECTION DETAIL - CHANNEL GLAZING HEAD AT BULKHEAD/GYP CEILING
3" = 1'-0"



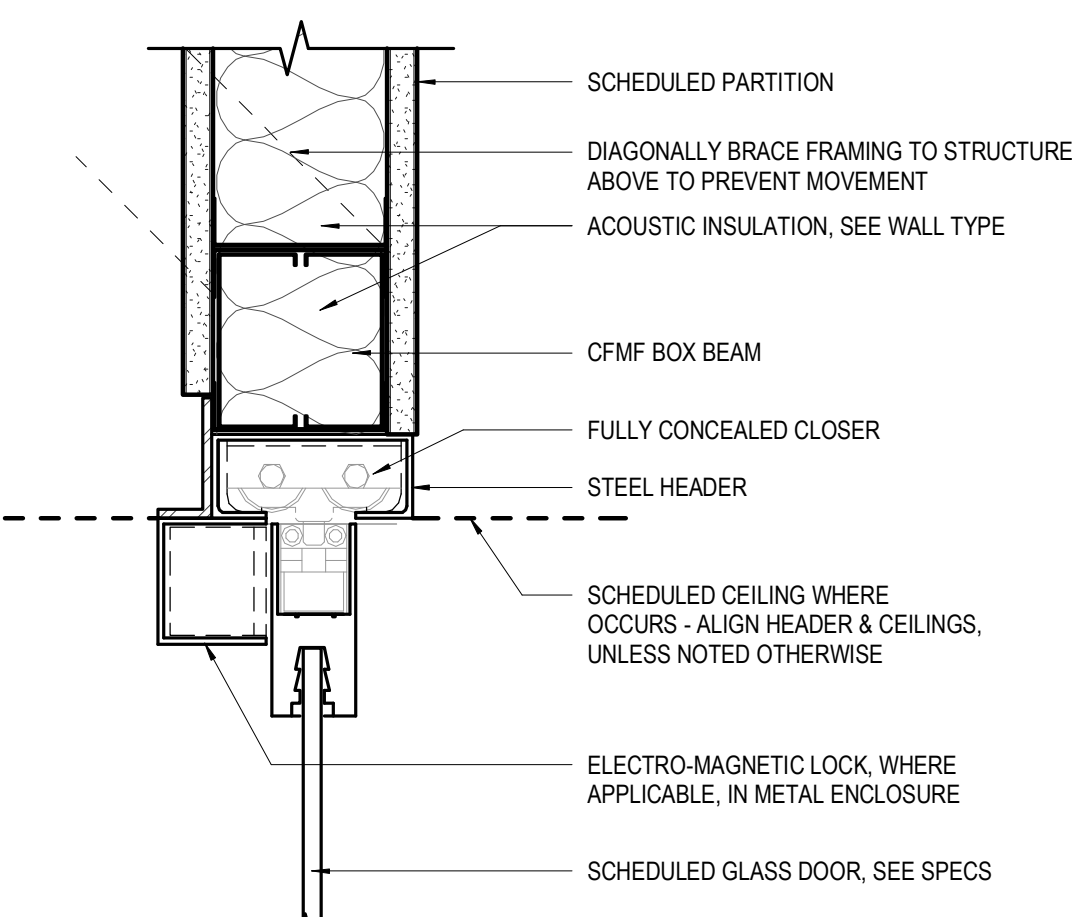
PLAN DETAIL - CHANNEL GLAZING JAMB
3" = 1'-0"



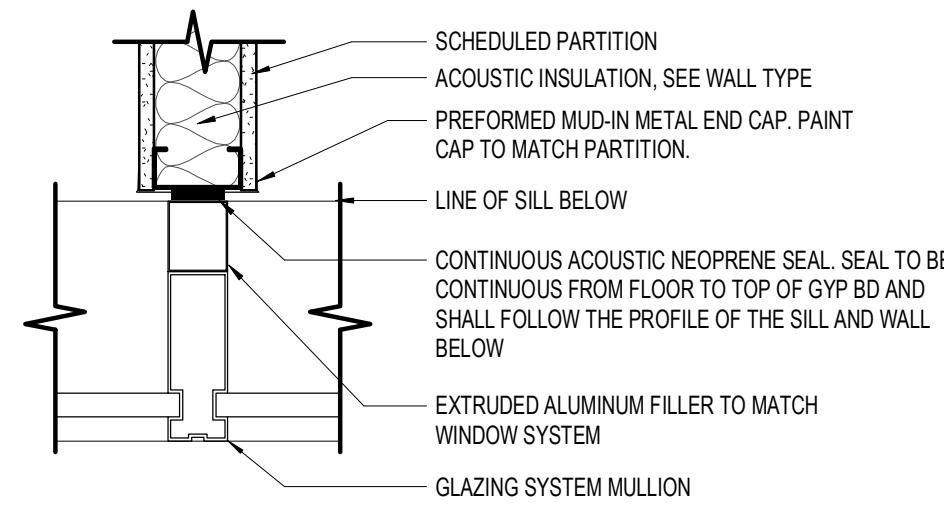
SECTION DETAIL - CHANNEL GLAZING HEAD/SILL
3" = 1'-0"



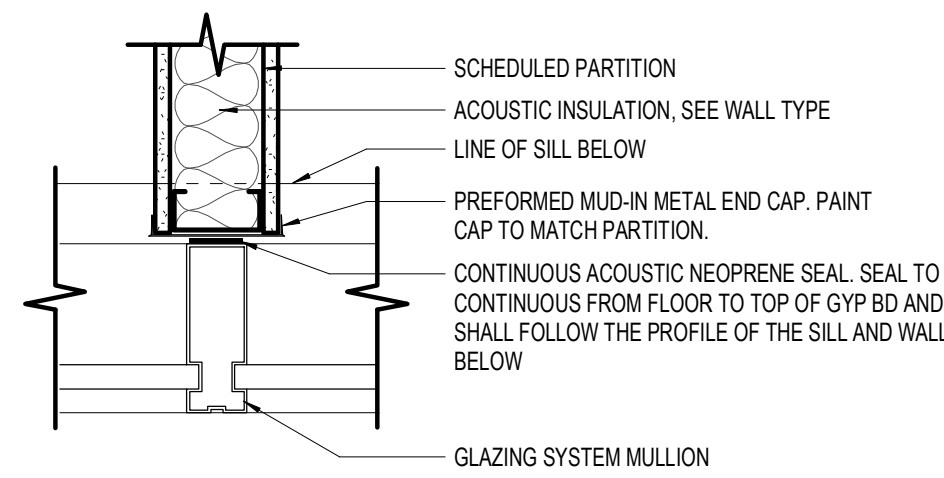
PLAN DETAIL - PIVOT DOOR JAMB AT PARTITION
3" = 1'-0"



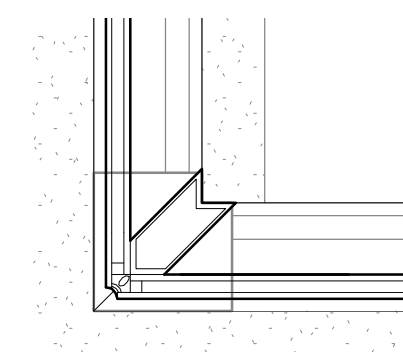
SECTION DETAIL - GLASS PIVOT DOOR HEAD
3" = 1'-0"



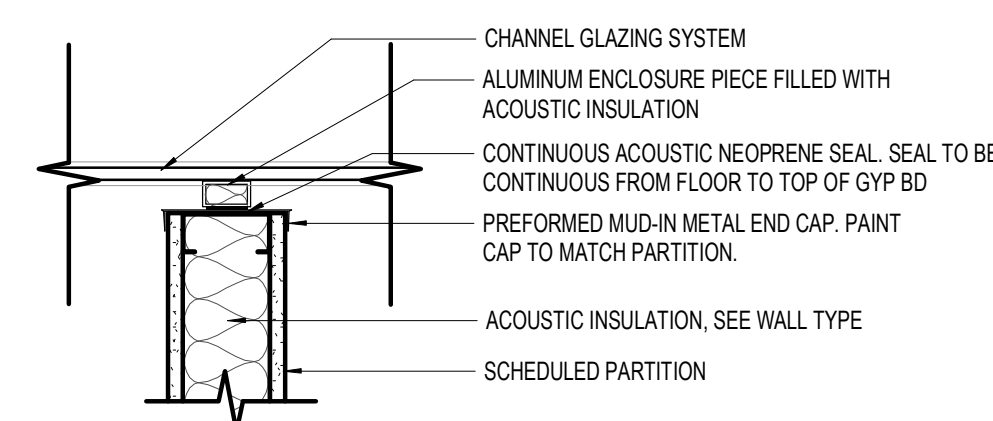
PLAN DETAIL - PARTITION @ MULLION TYPE 2
1 1/2" = 1'-0"



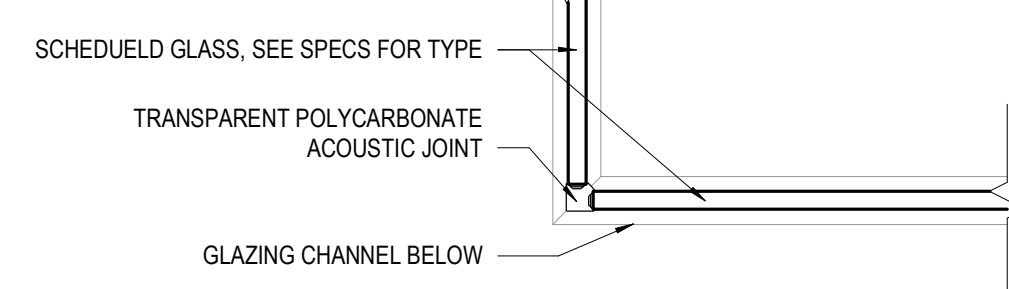
PLAN DETAIL - PARTITION @ MULLION - TYPE 1
1 1/2" = 1'-0"



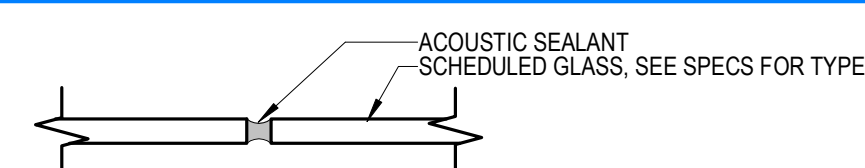
PLAN DETAIL - TYP STOREFRONT CORNER
1 1/2" = 1'-0"



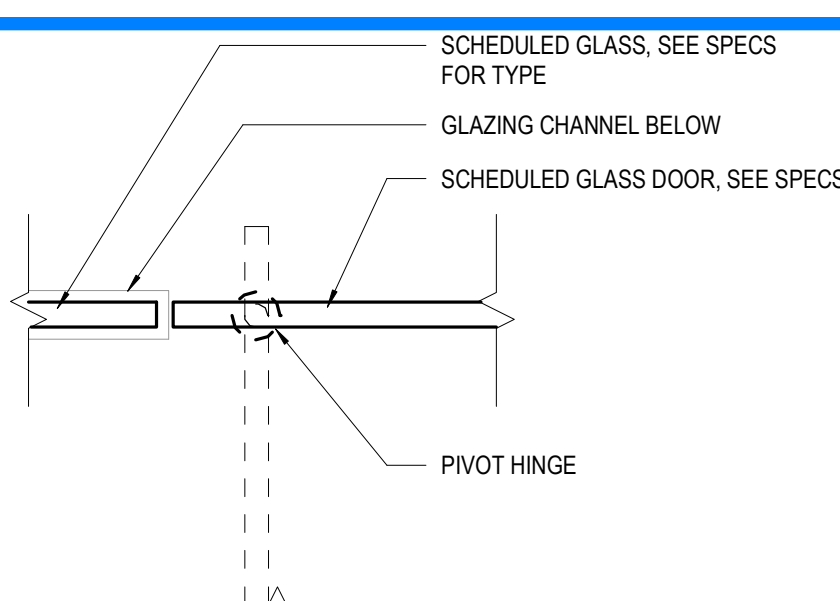
PLAN DETAIL - PARTITION AT CHANNEL GLAZE WALL
1 1/2" = 1'-0"



PLAN DETAIL - BUTT GLAZED CORNER
3" = 1'-0"



PLAN DETAIL - BUTT JOINT GLAZING DETAIL
3" = 1'-0"



PLAN DETAIL - GLASS PIVOT DOOR JAMB AT CHANNEL GLAZED WALL
3" = 1'-0"

FINISH SCHEDULE - PAINTS & WALL COVERINGS						
TAG	FINISH TYPE	MFR	STYLE	COLOR/ FINISH	CONTACT	COMMENTS
EPNT1	PANT	BENJAMIN MOORE	EPOXY	2126-70 CHALK WHITE	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	
EPNT2	PANT	BENJAMIN MOORE	EPOXY	2121-10 GRAY	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	
PNT1	PANT	BENJAMIN MOORE	LOW-VOC	2126-70 CHALK WHITE	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	
PNT2	PANT	BENJAMIN MOORE	LOW-VOC	2121-10 GRAY	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	
PNT3	PANT	BENJAMIN MOORE	LOW-VOC	335 DELIGHTFUL YELLOW	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	
PNT4	PANT	BENJAMIN MOORE	LOW-VOC	2058-20 SLATE TEAL	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	
PNT5	PANT		LOW-VOC	TO MATCH WALL PADS		
PNT6	PANT	BENJAMIN MOORE	LOW-VOC	AF-695 ETERNITY	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	
PNT7	PANT	BENJAMIN MOORE	LOW-VOC	TBD	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	EXTERIOR SURFACES OF HOLLOW METAL DOORS
PNT8	PANT	BENJAMIN MOORE	LOW-VOC	TBD	JASON WALKER jason.walker@benjaminmoore.com 773-597-8698	LOBBY SOFFIT LOCATION

PAINT & WALL COVERING NOTES
1. GYPSUM BOARD WALLS SHALL HAVE EGGSHELL FINISH UNLESS NOTED OTHERWISE.
2. GYPSUM BOARD CEILINGS SHALL HAVE FLAT FINISH UNLESS NOTED OTHERWISE.
3. ALL DOORS AND FRAMES SCHEDULES TO RECEIVE PAINT SHALL HAVE SEMI-GLOSS FINISH UNLESS NOTED OTHERWISE.

FINISH SCHEDULE - BASE, FLOORING, TILE							
TAG	FINISH TYPE	MFR	STYLE	COLOR /FINISH	SIZE	CONTACT	COMMENTS
BBT1	BIO-BASED TILE	ARMSTRONG	STRATIIONS	Z360Z STEEL	12"x24"	Kimberly A. Miranga KAMiranga@armstrongflooring.com (224) 287-1509	
CONC1	POLISHED CONCRETE	RETROPLATE	GRND. CLASS B - FINE AGGREGATE. POLISH LEVEL 2 - 200 GRIT	INTEGRAL COLOR		Jennifer Burke jburkejns@outlook.com 773.981.1700	
CONC2	SEALED CONCRETE						BACK OF HOUSE
CONC3	PRECAST CONCRETE TREAD	ARCHITEXTRAL CAST STONE					PRECAST CONCRETE TREAD AND RISER
CP11	CARPET TILE	MOHAWK GROUP	COLOR BALANCE	TITANIUM		Danielle Maicki danielle_maicki@mohawkind.com 312-644-2642	
CP12	CARPET TILE	INTERFACE	FLOR	KINGFISHER		Kathryn Schreiber KATHRYN.SCHREIBER@INTERFACE.COM 312.822.9640	BLUE
CP13	CARPET TILE	INTERFACE	TWIST AND SHINE MICRO	SMOKE MICRO		Kathryn Schreiber KATHRYN.SCHREIBER@INTERFACE.COM 312.822.9640	
CP14	CARPET TILE	INTERFACE	FLOR	609006 GRAY		Kathryn Schreiber KATHRYN.SCHREIBER@INTERFACE.COM 312.822.9640	ELEVATOR
RAF1	RESILIENT ATHLETIC FLOORING	ECORE	10.5MM ROLL	ES15A STEEL APPEAL 2		Colin O'Donnell COdonnell@spartansurfaces.com 312.433.9941	FITNESS ROOM
RAF2	RESILIENT ATHLETIC FLOORING	ECORE	BMW ROLL	EL 102 LIONS		Colin O'Donnell COdonnell@spartansurfaces.com 312.433.9941	PLAYZONE
RAF3	RESILIENT ATHLETIC FLOORING	MONDO	SUPER X 720	P31 MEDIUM GREY	10.5 MM	Jess White jess@kiferusa.com 224-321-6137	TRACK
RB1	RESILIENT BASE	JOHNSONITE	REFER TO FINISH PLAN GENERAL NOTES, NOTE #11	COLOR TO MATCH PNT1	2.5H x 1.8" THICK	Heather Posey hposey@ejwelch.com (847) 616-6535	
RB2	RESILIENT BASE	JOHNSONITE	REFER TO FINISH PLAN GENERAL NOTES, NOTE #11	TO MATCH PNT2	2.5H x 1.8" THICK	Heather Posey hposey@ejwelch.com (847) 616-6535	
RB3	RESILIENT BASE	JOHNSONITE	REFER TO FINISH PLAN GENERAL NOTES, NOTE #11	TO MATCH PNT3	2.5H x 1.8" THICK	Heather Posey hposey@ejwelch.com (847) 616-6535	
RB4	RESILIENT BASE	JOHNSONITE	REFER TO FINISH PLAN GENERAL NOTES, NOTE #11	TO MATCH PNT4	2.5H x 1.8" THICK	Heather Posey hposey@ejwelch.com (847) 616-6535	
RB6	RESILIENT BASE	JOHNSONITE	REFER TO FINISH PLAN GENERAL NOTES, NOTE #11	TO MATCH PNT6	2.5H x 1.8" THICK	Heather Posey hposey@ejwelch.com (847) 616-6535	
T1	FLOOR TILE	EMSER	UPTOWN	HAMILTON	12"x24"	Katie Callahan Katie.Callahan@emser.com 847-957-8270	MAPEI 19 PEARL GRAY
WAF1	WOOD ATHLETIC FLOORING	ROBBINS SPORTS SURFACES	BIO-CHANNEL SB	GRADE 2			
WAF2	WOOD ATHLETIC FLOORING	ROBBINS SPORTS SURFACES	LA LENA B WOOD	GRADE 2			
WDM1	WALK OFF MAT	CONSTRUCTION SPECIALTIES	PEDIMAT M1	932 ANTHRACITE	FRAMELESS		

FINISH SCHEDULE - MISCELLANEOUS							
TAG	FINISH TYPE	MFR	STYLE	COLOR/ FINISH	AR_FinishSize_PW	CONTACT	COMMENTS
M1	MIRROR		FRAMELESS				
M2	MIRROR		FRAMELESS				
MTL1	METAL		POWDER COAT	PNT1			
MTL2	METAL		POWDER COAT	BLACK			
PL1	PLASTIC LAMINATE	PANOLAM	TEXTURED SUEDE	WHITE		Nichole Meyer Nichole_Meyer@panolam.com (877) 726-6526	WHITE
PL2	PLASTIC LAMINATE	PANOLAM	TEXTURED SUEDE	BANKERS GRAY		Nichole Meyer Nichole_Meyer@panolam.com (877) 726-6526	GREY
PL3	PLASTIC LAMINATE	PANOLAM	TEXTURED SUEDE	STORM GRAY		Nichole Meyer Nichole_Meyer@panolam.com (877) 726-6526	DARK GREY
SS1	SOLID SURFACE	FORMICA	SOLID SURFACE	BRITTE WHITE		Eli Lapsley eli.lapsley@formica.com (630) 333-6631	WHITE
SS2	SOLID SURFACE	LG HAUSYS	HIMACS SOLID SURFACE	STEEL CONCRETE		Michael Cook mcook@ghausys.com (773) 790-7757	GREY
SS3	SOLID SURFACE	LG HAUSYS	HIMACS SOLID SURFACE	SAHARAN NIGHT		Michael Cook mcook@ghausys.com (773) 790-7757	BLACK
WD1	WOOD	BY OWNER	OAK	STAIN TBD			CONTRACTOR TO MOCK UP CLEAR STAIN AND MEDIUM STAIN FOR APPROVAL
WT1	WALL TILE	EMSER	UPTOWN	HAMILTON	3"x12"	Katie Callahan Katie.Callahan@emser.com 847-957-8270	MAPEI 19 PEARL GRAY
WT2	WALL TILE	EMSER	SPHERE	BLACK GLOSS	3"x12"	Katie Callahan Katie.Callahan@emser.com 847-957-8270	MAPEI 10 BLACK
WT3	WALL TILE	EMSER	BRAVA	CARBON	12"x24"	Katie Callahan Katie.Callahan@emser.com 847-957-8270	MAPEI 10 BLACK
WT4	WALL TILE	EMSER	SPHERE	WHITE GLOSS	3"x12"	Katie Callahan Katie.Callahan@emser.com 847-957-8270	MAPEI 101 RAIN

CABINET HARDWARE SCHEDULE				
CABINET FINISH	PULL MFR	PULL MODEL	PULL FINISH	COMMENTS
PL1PL2	TYDIX	EDGE PULL, SRD, 2"L X 1/2"	SATIN CHROME	PROVIDE A SAMPLE FOR APPROVAL PRIOR TO ORDER
PL3	TYDIX	EDGE PULL, SRD, 2"L X 1/2"	SATIN BLACK	PROVIDE A SAMPLE FOR APPROVAL PRIOR TO ORDER

FINISH SCHEDULE - CEILING						
TAG	TYPE	MFR	STYLE	COLOR / FINISH	CONTACT	COMMENT
ACT-1	ACOUSTICAL CEILING PANEL SYSTEM	ARMSTRONG	SQUARE REGULAR EDGE	WHITE HUMGAURD PLUS, 24"x24"	TABITHA RUIZ MCCARTHY (612) 282-0759	GRID/SILHOUETTE 9"16" BOLT SLOT, 180 REVEAL
ES9						
GYP 8D						

ACT-1: Armstrong Ultima 15/16" Tegular Edge Ceiling Tiles -
<https://www.armstrongceilings.com/pdbupimages-clg/226360.pdf/download/data-sheet-ultima-tegular.pdf>

Noise Reduction Coefficient: 0.80 (scale of 0.00 to 1.00)
Ceiling Attenuation Class: 35 (35 and above is considered high performance)

EQUIPMENT SCHEDULE					
TAG	DESCRIPTION	MFR	MODEL	ELEC REQD	COMMENTS
CG1	CORNER GAURD	KOROGAURD	R110		ALL OUTSIDE CORNERS, WITHOUT TILE TO RECEIVE CORNER GUARDS @ 8'-0" HIGH
FEC-1	FIRE EXTINGUISHER CABINET	TBD	TBD		
GEQ-1	BASKETBALL GOALS	PORTER ATHLETIC	9094900		MOTORIZED BACKBOARD HEIGHT ADJUSTERS
GEQ-2	DIVIDER CURTAIN	PORTER ATHLETIC	9667500		
GEQ-3	SCOREBOARD	BB-2101			
GEQ-4	DIGITAL TIMING CLOCK	DAKTRONICS	PC-2002		
LKR1	Z TIER LOCKER W/ BASE PLATES AND DIGLOCKS	SPECTRUM	12" X 15" X 70-34"		
LKR2	6-TIER WITH BASE PLATES AND DIGLOCK	SPECTRUM	12" X 12" X 59-34"		
LKR3	4-TIER WITH BASE PLATES AND DIGLOCK	SPECTRUM	18"X18" X 71-34"		COLOR TO MATCH WALL
PRT-1	FRAMELESS SUSPENDED SIMPLE SPEC 200.08	3FORM	4x8x12"		ADDITIONAL CORD LENGTH IS NECESSARY. GLASS SPEC. CITYSCAPE N45 FINISH SANDSTONE F01
REF-1	REFRIGERATOR	TBD	TBD		
WP-1	PROTECTIVE PADDING	PORTER ATHLETIC	19 OZ VINYL, DOUBLE COATED, LAMINATED		

2	90% CONSTRUCTION DOCUMENTS	12/18/20
1	100% DESIGN DEVELOPMENT	09/11/20
	ISSUE	DATE

Job Number 022527 000

TITLE

INTERIOR FINISH SCHEDULE AND LEGEND

SHEET NUMBER

A64-01